

PROJECT INFORMATION

PROPERTY DESCRIPTION

Legal Description	LOTS 5-30, BLOCK 201, PLAN 5380V
Civic Address	1507-1531 16 AVE. S.W. 1601-1615 14 ST. S.W. 1430-1448 17 AVE. S.W. CALGARY, ALBERTA
Current Zoning	Proposed Zoning
Site Area	Gross Floor Area
5,788.47 sq.m.	22,387.91 sq.m.
Allowable Floor Area Ratio (F.A.R.)	Current Floor Area Ratio (F.A.R.)
	3.87

BUILDING STATISTICS

Level	Rentable Area			Efficiency (%)	Common Area (sq.f)			Rate (%)	Gross Floor Area	
	sf	sq.m.			sf	sq.m.			sf	sq.m.
Level 1	30,678.53	2,850.13	73%	11,424.02	1,061.33	27%	42,102.55	3,911.45		
Level 2	34,603.61	3,214.78	86%	5,604.45	520.67	14%	40,208.06	3,735.45		
Level 3	34,939.71	3,246.01	86%	5,492.23	510.24	14%	40,431.94	3,756.25		
Level 4	34,939.71	3,246.01	86%	5,492.23	510.24	14%	40,431.94	3,756.25		
Level 5	34,939.71	3,246.01	86%	5,492.23	510.24	14%	40,431.94	3,756.25		
Level 6	30,665.34	2,848.90	82%	6,709.68	623.35	18%	37,375.02	3,472.25		
Total	200,766.6	18,651.83	83%	40,214.84	3,736.08	17%	240,981.45	22,387.91		

Unit Statistics

Level	Studio	1 BD Affordable	1 BD Premium	2 BD Junior	2 BD Premium	3 BD	3 BD TOWNHOUSE	LIVE-WORK UNIT(1 BD)	TOTAL DWELLING UNITS	CRU	TOTAL RENTABLE AREA
Level 1	4	6	0	1	0	0	7	14	32	9	200766.6 SF
Level 2	11	6	13	11	10	1	0	0	52	0	
Level 3	12	6	20	11	10	1	0	0	60	0	
Level 4	12	6	20	11	10	1	0	0	60	0	
Level 5	12	6	20	11	10	1	0	0	60	0	
Level 6	5	4	18	6	6	8	0	0	47	0	
Total Unit Number	56	34	91	51	46	12	7	14	311		
Client Projected No.											
Ratio	18.01%	10.93%	29.26%	16.40%	14.79%	3.86%	2.25%	4.50%	100%		
Ave. Area per Unit Type	452.48 SF	484.12 SF	565.03 SF	626.45 SF	756.59 SF	946.31 SF	1257.66 SF	610.86 SF		1342.96 SF	
Total Area (SF) :	25338.70 SF	16460.05 SF	51417.95 SF	31949.01 SF	34802.95 SF	11355.66 SF	8803.63 SF	8552.00 SF	188679.95 SF	12086.67 SF	200766.6 SF

Vehicle Parking Stalls

Parkade Level 1 Parking Stalls	146	
Total	146	
Site Area	62,306.55 SF	5,788.47 sq.m.
FAR (Required)		
FAR (Proposed)		3.87

Bicycle Parking Stalls

Class 1	130
Class 2	31
TOTAL	161

Common Amenity Area	sf	sq.m.
Common Amenity Space (INDOOR)	2,562.90 SF	238.1 sq.m.
Common Amenity Space (OUTDOOR 6F)	3,696.71 SF	343.4 sq.m.
Common Amenity Space (OUTDOOR 1F)	4,885.97 SF	453.9 sq.m.
Balconies	10,763.11 SF	999.9 sq.m.
Total Outdoor Amenity Space	19,345.79 SF	1,797.3 sq.m.
Total Provided Amenity Area	21,908.69 SF	2,035.4 sq.m.
Required Amenity Area		
Required Outdoor Amenity Area		

CRU	Floor Area	Mezzanine Area
	sf sq.m.	sf sq.m.
CRU 1	1,949.68 181.13	0 0
CRU 2	1,432.48 133.08	0 0
CRU 3	1,195.47 111.06	0 0
CRU 4	1,200.94 111.57	0 0
CRU 5	1,500.87 139.44	0.00 0.00
TOTAL Part 1(CRU1-5)	7,279.44 737.01	
Part 1 (Common Corridor)	566.59 52.64	
CRU 6	1,769.20 164.36	415 38.55
CRU 7	1,687.94 156.81	685 63.64
CRU 8	668.11 62.07	0 0
CRU 9	674.72 62.68	0 0
TOTAL Part 2(CRU6-9)	4,799.97 445.93	1,100 102
Part 2(Common Corridor)	253.53 23.55	
Part 3(Common Area)(CRU1-8)	403.99 37.53	
TOTAL	13,303.52	1100

CRU BOMA CALCULATION

CRU	Floor Area	Mezzanine Area	Total Floor Area (lease)	RATIO OF CORRIDOR SHARED BETWEEN CRU	CORRIDOR SHARED BETWEEN CRU	RATIO OF PART 3	SHARED AREA OF PART 3	CRU GROSS AREA	GROSS UP(GROSS/LEASE)
	sf sq.m.	sf sq.m.	sf	%	sf	%	sf	sf	
CRU 1	1,949.68 181.13	0 0	1,949.68	26.78%	151.75	14.79%	59.76	2,161.20	CRU1 110.85%
CRU 2	1,432.48 133.08	0 0	1,432	19.68%	111.50	10.87%	43.91	1,587.89	CRU2 110.85%
CRU 3	1,195.47 111.06	0 0	1,195	16.42%	93.05	9.07%	36.64	1,325.16	CRU3 110.85%
CRU 4	1,200.94 111.57	0 0	1,201	16.50%	93.47	9.11%	36.81	1,331.23	CRU4 110.85%
CRU 5	1,500.87 139.44	0.00 0.00	1,500.87	20.82%	116.82	11.39%	46.01	1,663.70	CRU5 110.85%
TOTAL Part 1(CRU1-5)	7,279.44 737.01		7,279.44						
Part 1 (Common Corridor)	566.59 52.64			100.00%	566.59				
CRU 6	1,769.20 164.36	415 38.55	2,184.20	37.02%	93.86	16.57%	66.95	2,345.01	CRU6 107.36%
CRU 7	1,687.94 156.81	685 63.64	2,372.94	40.22%	101.97	18.00%	72.74	2,547.65	CRU7 107.36%
CRU 8	668.11 62.07	0 0	668.11	11.32%	28.71	5.07%	20.48	717.30	CRU8 107.36%
CRU 9	674.72 62.68	0 0	674.72	11.44%	28.99	5.12%	20.68	724.40	CRU9 107.36%
TOTAL Part 2(CRU6-9)	4,799.97 445.93	1,100 102	5,899.97						
Part 2(Common Corridor)	253.53 23.55			100.00%	253.53				
Part 3(Common Area)(CRU1-8)	403.99 37.53					100.00%	403.99		
TOTAL	13,303.52	1100	13179.41					14,403.52	109.29%

PHASE 1,2,3 UNITS STATISTICS

PHASE 1 - Unit Statistics	Studio	1 BD Affordable	1 BD Premium	2 BD Junior	2 BD Premium	3 BD	3 BD TOWNHOUSE	LIVE-WORK UNIT(1 BD)	TOTAL DWELLING UNITS	CRU
PHASE 1	47	10	32	34	5	10	7	3	148	0
Total Unit Number	47	10	32	34	5	10	7	3	148	0

PHASE 2 - Unit Statistics	Studio	1 BD Affordable	1 BD Premium	2 BD Junior	2 BD Premium	3 BD	3 BD TOWNHOUSE	LIVE-WORK UNIT(1 BD)	TOTAL DWELLING UNITS	CRU
PHASE 2	9	5	39	12	33	2	0	11	111	4
Total Unit Number	9	5	39	12	33	2	0	11	111	4

PHASE 3 - Unit Statistics	Studio	1 BD Affordable	1 BD Premium	2 BD Junior	2 BD Premium	3 BD	3 BD TOWNHOUSE	LIVE-WORK UNIT(1 BD)	TOTAL DWELLING UNITS	CRU
PHASE 3	0	19	20	5	8	0	0	0	52	5
Total Unit Number	0	19	20	5	8	0	0	0	52	5

PHASE	UNITS NUMBER	
	DWELLING	COMMERCIAL
PHASE 1	148	0
PHASE 2	111	4
PHASE 3	52	5
Total	311	9

BUILDING 1,2,3,4 STATISTICS

BUILDING 1 STATISTICS

Level	Rentable Area			Efficiency (%)	Common Area (sq.f)			Rate (%)	Gross Floor Area	
	sf	sq.m.			sf	sq.m.			sf	sq.m.
Level 1	8,805.8	539.4	0.6	3,736.7	347.15	39%	9,542.5	886.5		
Level 2	8,652.7	803.9	0.9	1,139.5	105.86	12%	9,792.2	909.7		
Level 3	9,085.9	844.1	0.9	1,020.1	94.77	10%	10,106.1	938.9		
Level 4	9,085.9	844.1	0.9	1,020.1	94.77	10%	10,106.1	938.9		
Level 5	9,085.9	844.1	0.9	1,020.1	94.77	10%	10,106.1	938.9		
Level 6	8,946.7	831.2	0.9	1,143.7	106.25	11%	10,090.4	937.4		
Total	50,663.0	4,706.7	0.8	9,080.3	843.58	15%	59,743.3	5,550.3		

BUILDING 2 STATISTICS

Level	Rentable Area			Efficiency (%)	Common Area (sq.f)			Rate (%)	Gross Floor Area	
	sf	sq.m.			sf	sq.m.			sf	sq.m.
Level 1	9,732.4	904.2	76%	3,023.4	280.9	24%	12,755.8	1,185.1		
Level 2	10,143.1	942.3	85%	1,667.1	172.8	15%	12,003.2	1,115.1		
Level 3	10,021.9	931.1	84%	1,866.9	173.4	16%	11,888.8	1,104.5		
Level 4	10,021.9	931.1	84%	1,866.9	173.4	16%	11,888.8	1,104.5		
Level 5	10,021.9	931.1	84%	1,866.9	173.4	16%	11,888.8	1,104.5		
Level 6	10,009.0	929.9	84%	1,867.0	173.5	16%	11,876.0	1,103.3		
Total	59,950.2	5,569.6	83%	12,351.2	1,147.5	17%	72,301.4	6,717.0		

BUILDING 3 STATISTICS

Level	Rentable Area			Efficiency (%)	Common Area (sq.f)			Rate (%)	Gross Floor Area	
	sf	sq.m.			sf	sq.m.			sf	sq.m.
Level 1	7,876.5	731.8	68%	3,693.7	343.2	32%	11,570.3	1,074.9		
Level 2	9,619.4	893.7	85%	1,667.3	154.9	15%	11,286.8	1,048.6		
Level 3	9,629.9	894.6	85%	1,666.3	154.8	15%	11,296.1	1,049.4		
Level 4	9,629.9	894.6	85%	1,666.3	154.8	15%	11,296.1	1,049.4		
Level 5	9,629.9	894.6	85%	1,666.3	154.8	15%	11,296.1	1,049.4		
Level 6	7,460.9	693.1	76%	2,306.7	214.3	24%	9,767.6	907.4		
Total	53,846.4	5,002.5	81%	12,666.5	1,176.8	19%	66,512.9	6,179.2		

BUILDING 4 STATISTICS

Level	Rentable Area			Efficiency (%)	Common Area (sq.f)			Rate (%)	Gross Floor Area	
	sf	sq.m.			sf	sq.m.			sf	sq.m.
Level 1	7,263.8	674.8	0.9	970.3	90.14	12%	8,234.0	765.0		
Level 2	6,188.4	574.9	0.9	937.5	87.10	13%	7,126.0	662.0		
Level 3	6,202.0	576.2	0.9	939.0	87.23	13%	7,141.0	663.4		
Level 4	6,202.0	576.2	0.9	939.0	87.23	13%	7,141.0	663.4		
Level 5	6,202.0	576.2	0.9	939.0	87.23	13%	7,141.0	663.4		
Level 6	4,248.8	394.7	0.8	1,392.3	129.35	25%	5,641.1	524.1		
Total	36,307.0	3,373.0	0.9	6,116.9	568.28	14%	42,423.9	3,941.3		

BUILDING NUMBER

BUILDING NUMBER	Gross Floor Area	
	sf	sq.m.
BUILDING 1	59,743.3	5,550.3
BUILDING 2	72,301.4	6,717.0
BUILDING 3	66,512.9	6,179.2
BUILDING 4	42,423.9	3,941.3
Total	240,981.4	22,387.9

BUILDING 1 - Unit Statistics

BUILDING1	Studio	1 BD Affordable	1 BD Premium	2 BD Junior	2 BD Premium	3 BD	3 BD TOWNHOUSE	LIVE-WORK UNIT(1 BD)</
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AMENDED DRAWINGS
 DP No. DP2023-05925 Date Received 04/17/2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

CITY OF CALGARY, ALBERTA

PLAN SHOWING SURVEY OF
 SITE PLAN AND ELEVATIONS
 OF
 Lot 5-30, Block 201, Plan 5380V
 WITHIN
 S.E.1/4 Sec. 17, Twp.24, Rge.1 W. 5 M.

SCALE: 1:250

BY: AZIZ M. DHARAMSHI, A.L.S., 2017

LEGEND

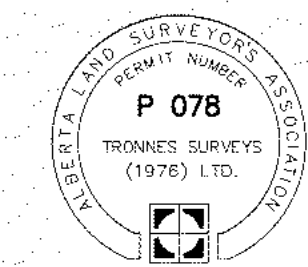
Distances shown are in metres and decimals thereof.
 Distances shown on curved boundaries are arc distances.
 Elevations are derived from ASCM 404475 = 1051.315
 Bearings are derived from GPS observations.
 The Coordinate System used for this plan is:
 Datum = North American Datum 1983
 Projection = 3° Transverse Mercator
 Reference Meridian = 114° West Longitude
 Combined Scale Factor = 0.999738
 Elevations are shown thus:
 Catch basins are shown thus:
 Manholes are shown thus:
 Fire Hydrants are shown thus:
 Light Standards are shown thus:
 Power Poles are shown thus:
 Water Valves are shown thus:
 Signs are shown thus:
 Trees are shown thus:

Power lines are shown thus:
 Curb lines are shown thus:
 Lip of Gutter lines are shown thus:
 Contour lines are at 0.25m intervals and shown thus:

ABBREVIATIONS

ASCM Alberta Survey Control Marker
 N North
 S South
 E East
 W West
 Sec. Section
 Twp. Township
 Rge. Range
 M Meridian
 Fd. Found
 I Iron Post
 Mk. Mark
 R/W Right-of-Way
 m Metres
 B.O.C. Back of Curb
 L.O.G. Lip of Gutter

The survey was performed on April 18, 2017
 Certified Correct this 4th Day of May, 2017



Alberta Land Surveyor

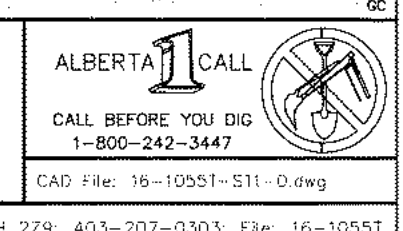
ADDRESS OF SITE

1531, 1529, 1527, 1525, 1521, 1517, 1513, 1511, 1507 - 16th AVE S.W.
 & 1601, 1600, 1613, 1612, 1449 ST S.W.
 & 1448, 1448A, 1445, 1444A, 1444, 1442, 1440, 1440A, 1438, 1436,
 1434, 1430 - 17th AVE S.W.
 CALGARY, ALBERTA

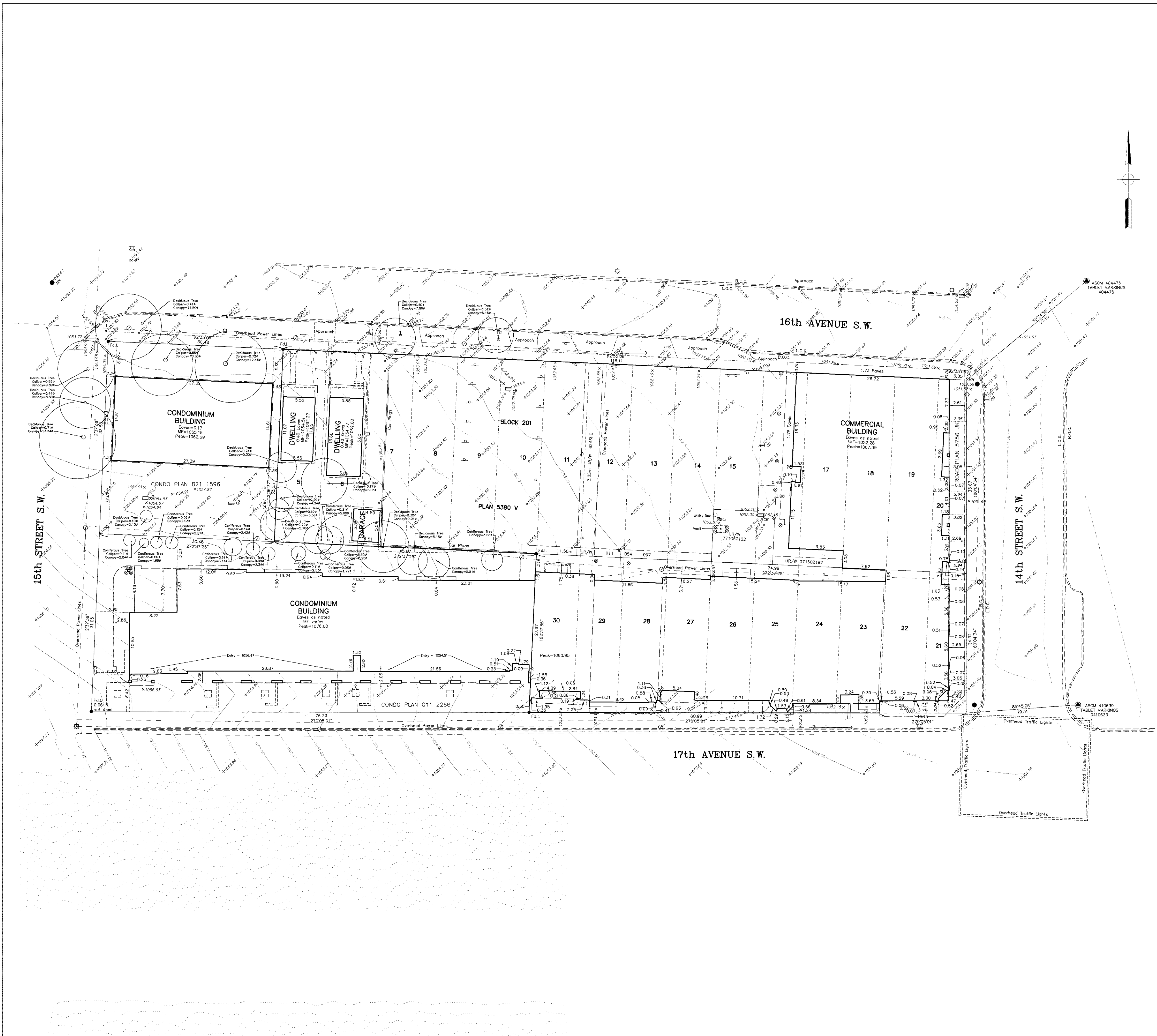
REGISTERED OWNERS

AS OF C. OF T. NO. 163 306, 41, +2, +3, +4,
 ASI SENTINEL BLOCK GP MANAGEMENT INC.
 AS OF C. OF T. NO. 102L243, 102L242, 102X249, 51047
 THE CITY OF CALGARY
 AS OF C. OF T. NO. 851 133 945
 332925 ALBERTA LTD.
 AS OF C. OF T. NO. 871 090 915
 352678 ALBERTA LTD.
 AS OF C. OF T. NO. 001 086 538
 ED RAHAL, JEAN HUNT, JOAN REINHARDT

**CAUTION - PRIOR TO ANY CONSTRUCTION
 UNDERGROUND FACILITIES NEED TO BE
 LOCATED BY:**



TRONNES SURVEYS (1976) LTD. 6125 - 10th Street S.E., Calgary, Alberta T2N 2Z5, 403-207-0303, Fax: 16-10557



RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

NOTES:

ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE A.B.C. N.B.C. ELECTRICAL AND PLUMBING CODES.

ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER.

ALL MATERIALS SHALL BE HANDLED AND STORED TO PREVENT DAMAGE.

VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

DIMENSIONS PROVIDED ARE RELATIVE TO FACE OF STUD OR FACE OF CONCRETE.

EACH SUCCESSIVE SUBTRADE IS REQUIRED TO CONFIRM THE LOCATION OF REFERENCE POINTS FOR LOCATING NEW WORK WITH THE WALLS WORK ALREADY IN PLACE.

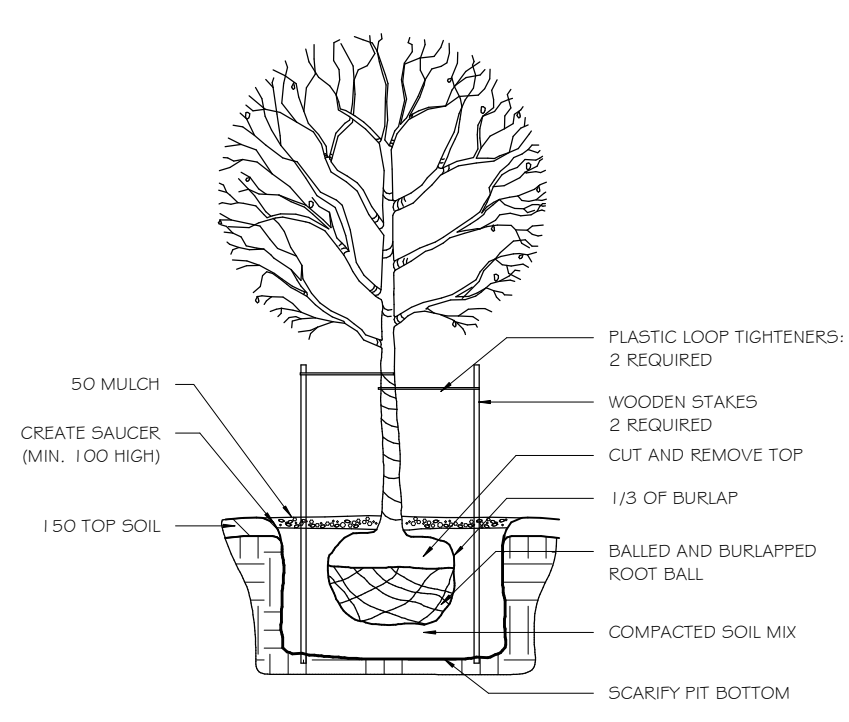
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DO NOT SCALE DRAWINGS.

THIS DRAWING SUPERCEDES PREVIOUS ISSUES.



SITE PLAN
1 : 200



PLANTING DETAIL
2 NTS

LANDSCAPING ANALYSIS		LANDSCAPE LEGEND:	
ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM.			
• DECIDUOUS TREE:	DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 50 MILLIMETRES AND AT LEAST 50.0 PER CENT OF THE PROVIDED DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 75 MILLIMETRES AT THE TIME OF PLANTING.	DECIDUOUS TREE	DECIDUOUS SHRUB
• CONIFEROUS:	CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0 METRES AND AT LEAST 50.0 PER CENT OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0 METRES IN HEIGHT AT THE TIME OF PLANTING.	CONIFEROUS TREE	CONIFEROUS SHRUB
• SHRUBS:	SHRUBS MUST BE A MINIMUM HEIGHT OR SPREAD OF 0.6 METRES AT THE TIME OF PLANTING.	MEYER LILAC	
DECIDUOUS TREES	QUANTITY	SIZE	
COLUMNAR ASPEN	5	75mm CALLIPER, 3.0m HIGH	
DECIDUOUS SHRUBS	3	600mm HIGH	

BYLAW REVIEW / DEVELOPMENT DATA		
	REQUIRED	PROVIDED
CIVIC ADDRESS:	1507-1531 16 AVE. S.W. 1621-1615 14 ST. S.W. 1430-1448 17 AVE. S.W. CALGARY, ALBERTA	
LEGAL DESCRIPTION:	LOTS 5-30, BLOCK 201, PLAN 5380V	
ZONING:	DC BYLAW # 11902019	
17TH AVE. S.W. SETBACK:	3.00 M	3.07 M
14TH AVE. S.W. SETBACK:	3.00 M	3.00 M
14TH ST. S.W. SETBACK:	2.134 M	3.86 M PER DC (Sec. 5.3 Does not apply)
SIDE SETBACK: 17TH AVE. S.W.:	0.00 M	0.55 M
SIDE SETBACK: 16TH AVE. S.W.:	3.00 M	2.95 M
BUILDING HEIGHT:	N/A	FT
MIN. DRIVEWAY LENGTH:	N/A	M/A
PARCEL AREA:		63,306 SQ. FT.
BUILDING COVERAGE:		205,310 SQ. FT. / 62,306 SQ. FT.
GROSS FLOOR AREA:		= 3.89
FLOOR AREA RATIO:	5.0	3.89
NUMBER OF DWELLING UNITS:	314	
DENSITY:		0.03 M, 0.00 M
MAIN FLOOR ELEVATION:		
ROOF PEAK ELEVATION:		
PARKING STALLS:		152 UNDERGROUND PARKING STALLS 1 ABOVE GROUND LOADING STALL
BICYCLE STALLS:		TOTAL STALLS PROVIDED: BIKE ROOM CLASS 1 BIKE STALLS 62 COMPRESSOR BIKE REPAIR BENCH CLASS 2 BIKE STALLS 20

TODD JACKSON
ARCHITECTURE INC

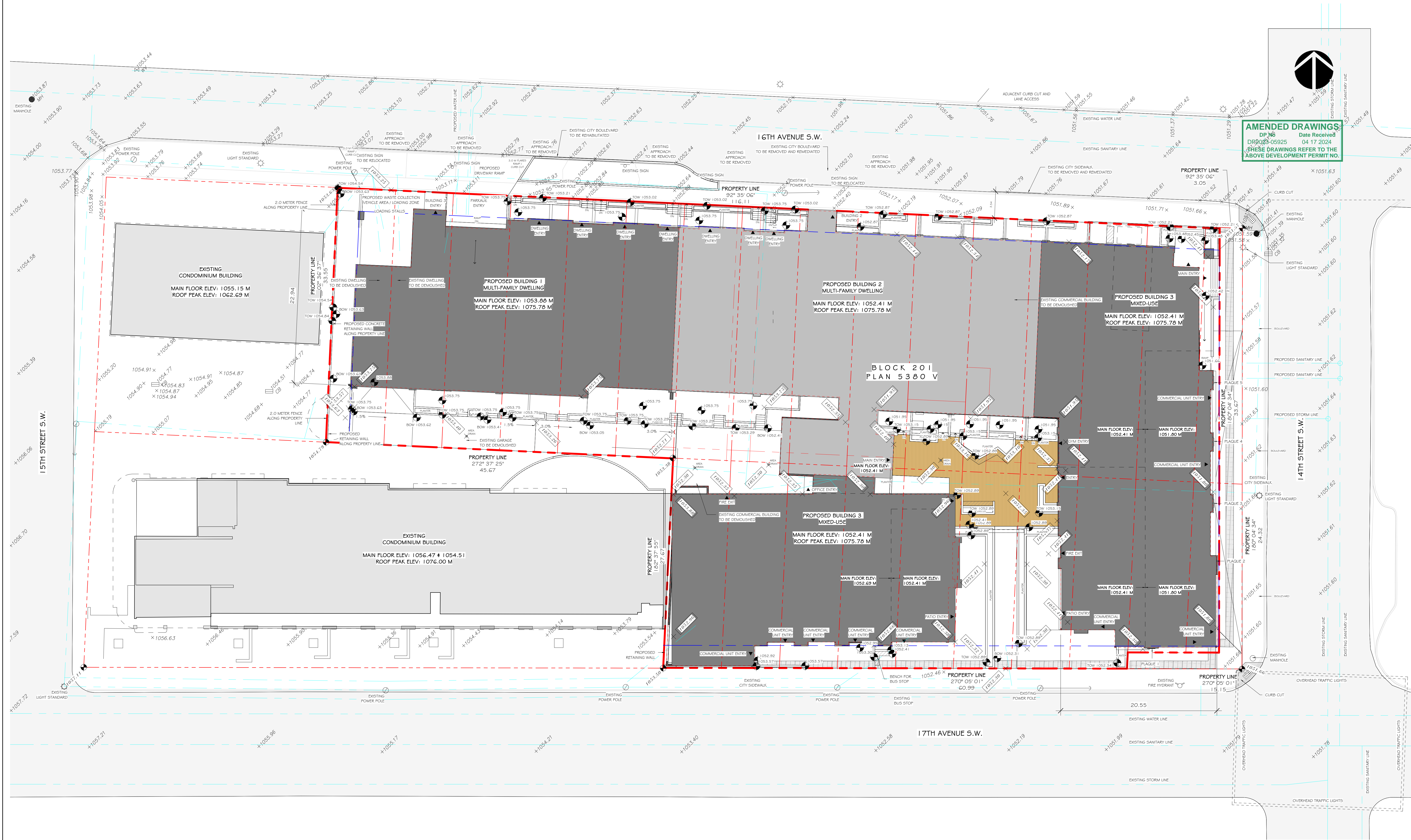
834A 16TH AVENUE S.W. TEL: 403.520.8018
CALGARY AB. EMAIL: info@tjgroup.ca
T2R 0S9

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
1601-1615 14 ST. S.W.
1430-1448 17 AVE. S.W.
CALGARY, ALBERTA
LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
SITE PLAN

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13	DATE:	2023-13
CHECKED BY:	TJ	DATE:	2024.04.17
DRAWN BY:	CS	PLOT DATE:	2024.04.17



AMENDED DRAWINGS
 DP# 2023-05925 Date Received 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMITTING.

SITE PLAN
 DP1.4
 1 : 200

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

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TODD JACKSON
 ARCHITECTURE INC

834-A 16TH AVENUE S.W.
 CALGARY, AB T2R 0S9
 Tel: 403.520.8018
 email: info@tjdesigngroup.ca

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1001-1615 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
SITE PLAN - GRADING

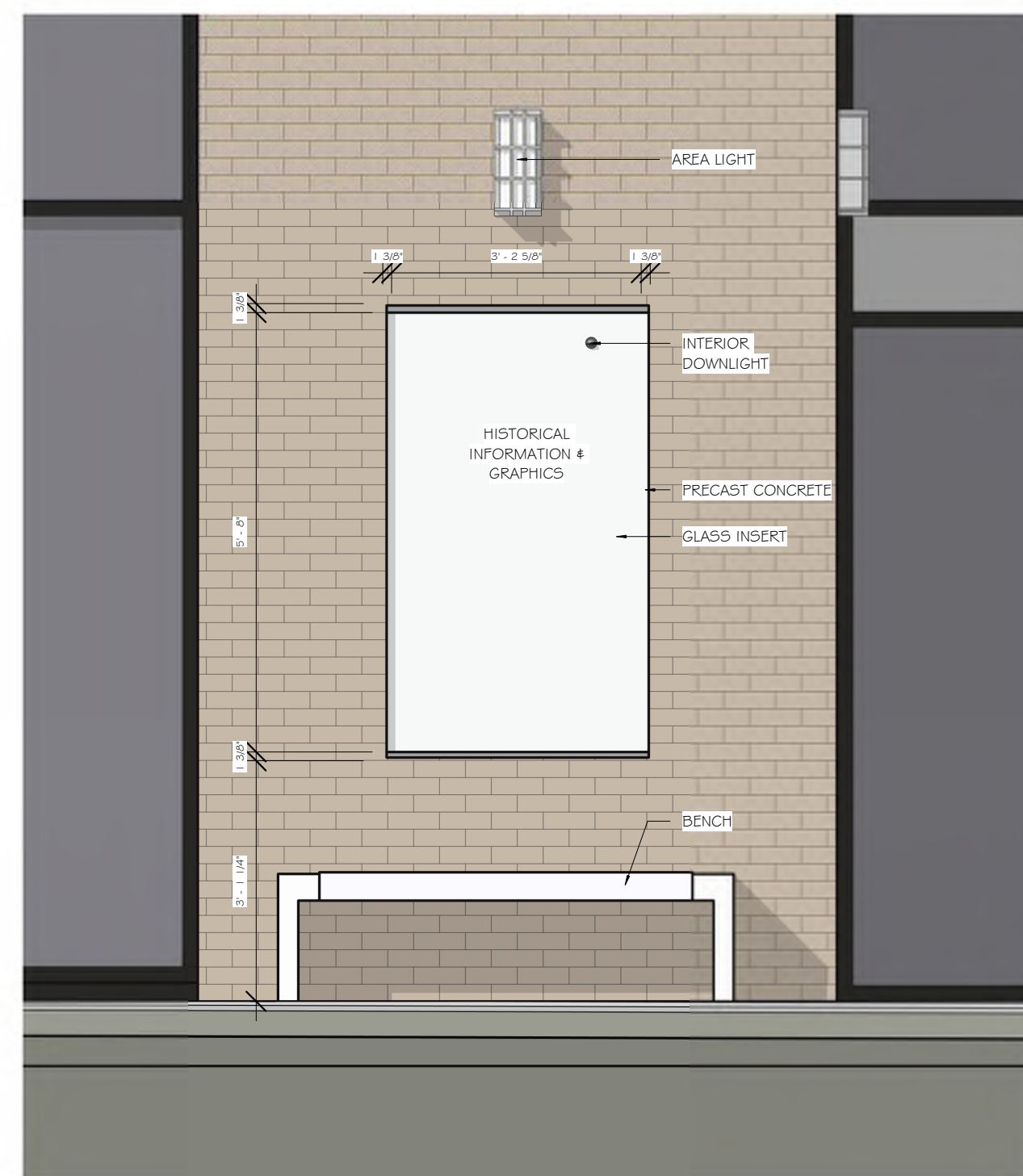
PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13	DP1.4	
CHECKED BY:	TJ		
DRAWN BY:	CS	PLOT DATE:	2024.04.17



2
DP1.10
STREETSCAPE - 17TH AVENUE S.W.
1/16" = 1'-0"



1
DP1.10
STREETSCAPE - 14TH STREET S.W.
1/16" = 1'-0"



3
DP1.10
DPI.10-3 TYPICAL COMMEMORATIVE PLAQUE
1/2" = 1'-0"

RECORD OF ISSUE

RECORD OF REVISIONS

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 THIS DRAWING SUPERCEDES PREVIOUS ISSUES

TODD JACKSON
ARCHITECTURE INC

804-A 16TH AVENUE S.W. TEL: 403.520.8018
 CALGARY, AB EMAIL: info@tjdesigngroup.ca
 T2R 0S9

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
COMMEMORATION
PLAQUES

PLOT SCALE: AS NOTED DRAWING NO.:

PROJECT NO.: 2023-13 **DP1.10**

CHECKED BY: TJ

DRAWN BY: Author

PLOT DATE: 2024.04.17

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

NOTES:

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AMENDED DRAWINGS
 DP No: DP2023-05925
 Date Received: 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



1
DP4.1
STREETSCAPE - 16TH AVENUE S.W.
1/16" = 1'-0"



2
DP4.1
STREETSCAPE - 17TH AVENUE S.W.
1/16" = 1'-0"



3
DP4.1
STREETSCAPE - 14TH STREET S.W.
1/16" = 1'-0"

TODD JACKSON
ARCHITECTURE INC

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 CALGARY, AB T2R 0S9 EMAIL: info@tjdesigngroup.ca

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
STREETSCAPES

PLOT SCALE:	AS NOTED	DRAWING NO.:	DP4.1
PROJECT NO.:	2023-13	CHECKED BY:	TJ
DRAWN BY:	CS	PLOT DATE:	2024.04.17

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RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

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AMENDED DRAWINGS
 DP No. DP2023-05023
 Date Received 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



NORTH ELEVATION BUILDING 1 & BUILDING 2
 1/8" = 1'-0"



SOUTH ELEVATION BUILDING 1
 1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
1	METAL VENTED SOFFIT COLOR: BLACK
2	EASY PLANK - VERTICAL L. GREY WOOD W/ PROFILE
3	BRICK MASONRY - LIGHT GREY/BROWN
4	CAST IN PLACE CONCRETE - LIGHTWHITE CW SAC RUB
5	EASY PLANK - VERTICAL L. BONE WHITE W/ PROFILE
6	EASY PANEL - BRUSHED ALUMINIUM TO MATCH WINDOWS
7	LIGHTING
8	COMMEMORATIVE # INFORMATION DISPLAYS
9	PRECAST CONCRETE
11	PREFINISHED METAL DOWNSPOUT (TO SIT IN EXTERIOR REVEAL) COLOR: TBD
12	RAILING PREFINISHED ALUMINIUM FRAME W/ SPINDELS
13	RAILING PREFINISHED ALUMINIUM FRAME W/GLASS
14	PRIVACY SCREEN PREFINISHED HORIZONTAL METAL
15	CEMENTITIOUS PARING
16	PREFINISHED METAL CAP FLASHING CW 2" DRIP EDGE AND ICE WATER BARRIER UNDER. SLOPE TO SHED WATER - COLOUR TBD
17	42" ALUMINIUM RAILINGS W/ SPINDELS
18	42" ALUMINIUM RAILINGS W/ GLASS
19	CURTAIN WALL GLAZING - KAWNEER CLEARWALL SYSTEM OR EQUIVILANT
20	WINDOW GLAZING METAL CLAD-VINYL WHITE

TODD JACKSON
ARCHITECTURE INC
 804A 16TH AVENUE S.W. TEL: 403.520.8018
 CALGARY, AB. EMAIL: info@tjgroup.ca
 T2R 0S9

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS
 1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
ELEVATIONS

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13		
CHECKED BY:	TJ		
DRAWN BY:	CS & AR	PLOT DATE:	2024.04.17

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

NOTES:

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THIS DRAWING SUPERCEDES PREVIOUS ISSUES.

AMENDED DRAWINGS
 DP No: DP2023-05925 Date Received: 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



EAST ELEVATION BUILDING I
 1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
1	METAL VENTED SOFFIT COLOR: BLACK
2	EASY PLANK - VERTICAL L. GREY WOOD W/ PROFILE
3	BRICK MASONRY - LIGHT GREY/BROWN
4	CAST IN PLACE CONCRETE - LIGHT/WHITE CW SAG RUB
5	EASY PLANK - VERTICAL L. BONE WHITE W/ PROFILE
6	EASY PANEL - BRUSHED ALUMINIUM TO MATCH WINDOWS
7	LIGHTING
8	COMMEMORATIVE # INFORMATION DISPLAYS
9	PRECAST CONCRETE
10	PREFINISHED METAL DOWNSPOUT (TO SIT IN EXTERIOR REVEAL) COLOR: TBD
11	RAILING PREFINISHED ALUMINIUM FRAME W/ SPINDELS
12	RAILING PREFINISHED ALUMINIUM FRAME W/ GLASS
13	PRIVACY SCREEN PREFINISHED HORIZONTAL METAL
14	CEMENTITIOUS FARGING
15	PREFINISHED METAL CAP FLASHING CW 2" DRIP EDGE AND ICE WATER BARRIER UNDER. SLOPE TO SHED WATER - COLOUR TBD
16	42" ALUMINIUM RAILINGS W/ SPINDELS
17	42" ALUMINIUM RAILINGS W/ GLASS
18	CURTAIN WALL GLAZING - KAWNEER CLEARWALL SYSTEM OR EQUIVALENT.
19	WINDOW GLAZING METAL CLAD-VINYL WHITE
20	

TODD JACKSON
ARCHITECTURE INC

804-A 16TH AVENUE S.W. TEL: 403.520.8018
 CALGARY, AB T2R 0S9 EMAIL: info@tjdesigngroup.ca

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
ELEVATIONS

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13	DP4.3	
CHECKED BY:	TJ		
DRAWN BY:	CS	PLOT DATE:	2024.04.17

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SOUTH ELEVATION BUILDING I (PARTIAL)

1/8" = 1'-0"



WEST ELEVATION BUILDING I

1/8" = 1'-0"

AMENDED DRAWINGS
 DP No: DP2023-05925
 Date Received: 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE (2)
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

NOTES:

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EXTERIOR FINISH LEGEND	
1	METAL VENTED SOFFIT COLOR: BLACK
2	EASY PLANK - VERTICAL L. GREY WOOD W/ PROFILE
3	BRICK MASONRY - LIGHT GREY/BROWN
4	CAST IN PLACE CONCRETE - LIGHT/WHITE CW SAG RUB
5	EASY PLANK - VERTICAL L. BONE WHITE W/ PROFILE
6	EASY PANEL - BRUSHED ALUMINIUM TO MATCH WINDOWS
7	LIGHTING
9	COMMEMORATIVE 4" INFORMATION DISPLAYS
10	PRECAST CONCRETE
11	PREFINISHED METAL DOWNSPOUT (TO SIT IN EXTERIOR REVEAL) COLOR: TBD
12	RAILING PREFINISHED ALUMINIUM FRAME W/ SPINDELS
13	RAILING PREFINISHED ALUMINIUM FRAME W/ GLASS
14	PRIVACY SCREEN PREFINISHED HORIZONTAL METAL
15	CEMENTITIOUS FARGING
16	PREFINISHED METAL CAP FLASHING CW 2" DRIP EDGE AND ICE WATER BARRIER UNDER. SLOPE TO SHED WATER - COLOUR TBD
17	42" ALUMINIUM RAILINGS W/ SPINDELS
18	42" ALUMINIUM RAILINGS W/ GLASS
19	CURTAIN WALL GLAZING - KAWNEER CLEARWALL SYSTEM OR EQUIVALENT.
20	WINDOW GLAZING METAL CLAD-VINYL WHITE

TODD JACKSON
ARCHITECTURE INC

804A 16TH AVENUE S.W.
 CALGARY AB T2R 0S9
 Tel: 403.520.8018
 email: info@tjdesigngroup.ca

PROJECT:
THE SENTINEL MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
ELEVATIONS

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13	DP4.4	
CHECKED BY:	TJ		
DRAWN BY:	CS	PLOT DATE:	2024.04.17

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

AMENDED DRAWINGS
 DP No: DP2023-05925 Date Received: 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

RECORD OF REVISIONS	

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SOUTH ELEVATION BUILDING 2
 1/8" = 1'-0"



EAST ELEVATION BUILDING 2
 2/8" = 1'-0"

EXTERIOR FINISH LEGEND	
1	METAL VENTED SOFFIT COLOR: BLACK
2	EASY PLANK - VERTICAL L. GREY WOOD W/ PROFILE
3	BRICK MASONRY - LIGHT GREY/BROWN
4	CAST IN PLACE CONCRETE - LIGHT/WHITE CW SAG RUB
5	EASY PLANK - VERTICAL L. BONE WHITE W/ PROFILE
6	EASY PANEL - BRUSHED ALUMINIUM TO MATCH WINDOWS
7	LIGHTING
8	COMMEMORATIVE # INFORMATION DISPLAYS
9	PRECAST CONCRETE
11	PREFINISHED METAL DOWNSPOUT (TO SIT IN EXTERIOR REVEAL) COLOR: TBD
12	RAILING PREFINISHED ALUMINIUM FRAME W/ SPINDELS
13	RAILING PREFINISHED ALUMINIUM FRAME W/ GLASS
14	PRIVACY SCREEN PREFINISHED HORIZONTAL METAL
15	CEMENTITIOUS FARGING
16	PREFINISHED METAL CAP FLASHING CW 2" DRIP EDGE AND ICE WATER BARRIER UNDER. SLOPE TO SHED WATER - COLOUR TBD
17	42" ALUMINIUM RAILINGS W/ SPINDELS
18	42" ALUMINIUM RAILINGS W/ GLASS
19	CURTAIN WALL GLAZING - KAWNEER CLEARWALL SYSTEM OR EQUIVALENT.
20	WINDOW GLAZING METAL CLAD-VINYL WHITE

TODD JACKSON
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 804-A 16TH AVENUE S.W. TEL: 403.520.8018
 CALGARY, ALBERTA T2R 0S9 EMAIL: info@tjdesigngroup.ca

PROJECT:
**THE SENTINEL
 MIXED-USE BUILDINGS**
 1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
ELEVATIONS

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13	DP4.5	
CHECKED BY:	TJ	PLOT DATE:	2024.04.17
DRAWN BY:	CS		



1 NORTH ELEVATION BUILDING 2
1/8" = 1'-0"



2 WEST ELEVATION BUILDING 2
1/8" = 1'-0"

AMENDED DRAWINGS
 DP No: 2023-05925 Date Received: 04-17-2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

EXTERIOR FINISH LEGEND	
1	METAL VENTED SOFFIT COLOR: BLACK
2	EASY PLANK - VERTICAL L. GREY WOOD W/ PROFILE
3	BRICK MASONRY - LIGHT GREY/BROWN
4	CAST IN PLACE CONCRETE - LIGHT/WHITE CW S&C RUB
5	EASY PLANK - VERTICAL L. BONE WHITE W/ PROFILE
6	EASY PANEL - BRUSHED ALUMINIUM TO MATCH WINDOWS
7	LIGHTING
9	COMMEMORATIVE & INFORMATION DISPLAYS
10	PRECAST CONCRETE
11	PREFINISHED METAL DOWNSPOUT (TO SIT IN EXTERIOR REVEAL) COLOR: TBD
12	RAILING PREFINISHED ALUMINIUM FRAME W/ SPINDELS
13	RAILING PREFINISHED ALUMINIUM FRAME W/ GLASS
14	PRIVACY SCREEN PREFINISHED HORIZONTAL METAL
15	CEMENTITIOUS FARGING
16	PREFINISHED METAL CAP FLASHING CW 2" DRIP EDGE AND ICE WATER BARRIER UNDER. SLOPE TO SHED WATER - COLOUR TBD
17	42" ALUMINIUM RAILINGS W/ SPINDELS
18	42" ALUMINIUM RAILINGS W/ GLASS
19	CURTAIN WALL GLAZING - KAWNEER CLEARWALL SYSTEM OR EQUIVILANT.
20	WINDOW GLAZING METAL CLAD-VINYL WHITE

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

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ARCHITECTURE INC

804A 16TH AVENUE S.W.
 CALGARY AB T2R 0S9
 Tel: 403.520.8018
 email: info@tjdesigngroup.ca

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1001-1615 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
ELEVATIONS

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13		
CHECKED BY:	TJ		
DRAWN BY:	CS	PLOT DATE:	2024.04.17

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

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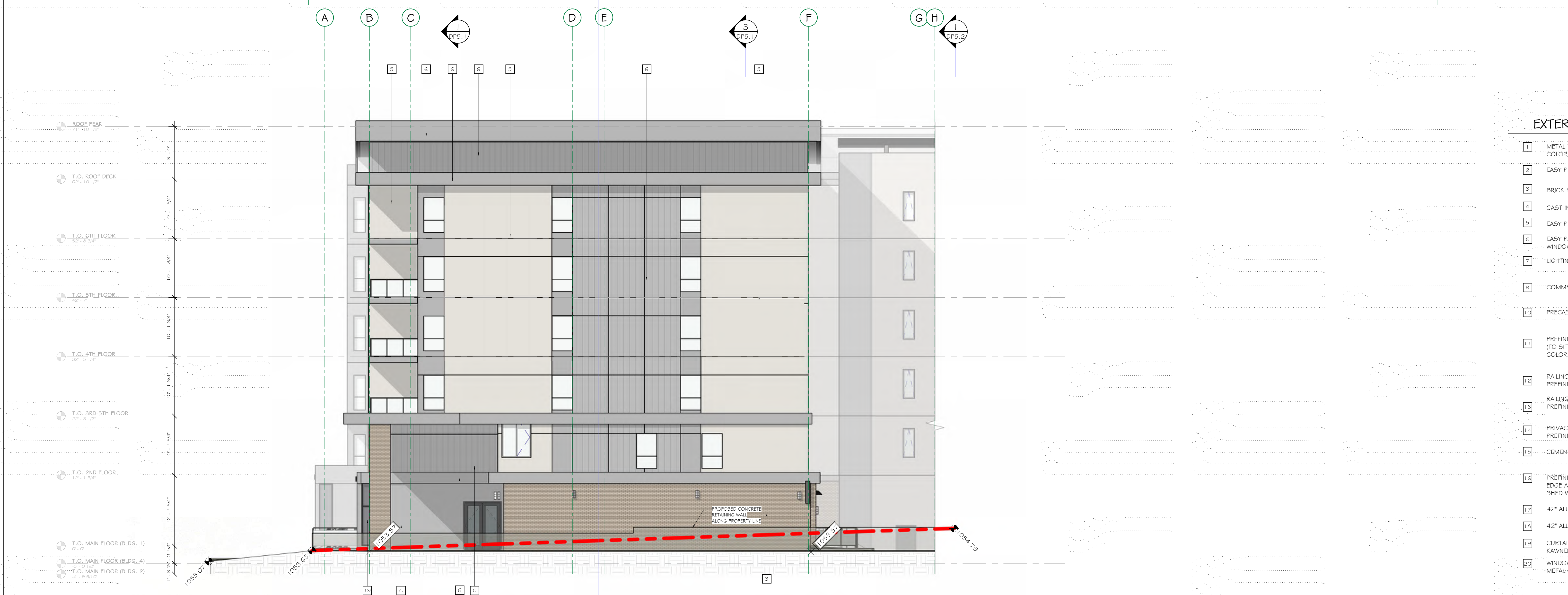
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AMENDED DRAWINGS
 DP No: DP2023-05925 Date Received: 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



NORTH ELEVATION BUILDING 3
 1/8" = 1'-0"



WEST ELEVATION BUILDING 3
 1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
1	METAL VENTED SOFFIT COLOR: BLACK
2	EASY PLANK - VERTICAL L. GREY WOOD W/ PROFILE
3	BRICK MASONRY - LIGHT GREY/BROWN
4	CAST IN PLACE CONCRETE - LIGHT/WHITE CW SAG RUB
5	EASY PLANK - VERTICAL L. BONE WHITE W/ PROFILE
6	EASY PANEL - BRUSHED ALUMINIUM TO MATCH WINDOWS
7	LIGHTING
8	COMMEMORATIVE & INFORMATION DISPLAYS
9	PRECAST CONCRETE
10	PREFINISHED METAL DOWNSPOUT (TO SIT IN EXTERIOR REVEAL) COLOR: TBD
11	RAILING PREFINISHED ALUMINIUM FRAME W/ SPINDELS
12	RAILING PREFINISHED ALUMINIUM FRAME WIGGLASS
13	PRIVACY SCREEN PREFINISHED HORIZONTAL METAL
14	CEMENTITIOUS FARGING
15	PREFINISHED METAL CAP FLASHING CW 2" DRIP EDGE AND ICE WATER BARRIER UNDER. SLOPE TO SHED WATER - COLOUR TBD
16	42" ALUMINIUM RAILINGS W/ SPINDELS
17	42" ALUMINIUM RAILINGS W/ GLASS
18	CURTAIN WALL GLAZING - KAWNEER CLEARWALL SYSTEM OR EQUIVALENT
19	WINDOW GLAZING METAL CLAD-VINYL WHITE

TODD JACKSON
ARCHITECTURE INC

104-A 16TH AVENUE S.W.
 CALGARY AB T2R 0S9
 Tel: 403.520.8018
 email: info@tjdesigngroup.ca

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
ELEVATIONS

PLOT SCALE:	AS NOTED	DRAWING NO.:	DP4.7
PROJECT NO.:	2023-13	CHECKED BY:	TJ
DRAWN BY:	CS	PLOT DATE:	2024.04.17

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AMENDED DRAWINGS
 DP No: DP2023-05925
 Date Received: 04.17.2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

SOUTH ELEVATION BUILDING 3
 1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
1	METAL VENTED SOFFIT COLOR: BLACK
2	EASY PLANK - VERTICAL L. GREY WOOD W/ PROFILE
3	BRICK MASONRY - LIGHT GREY/BROWN
4	CAST IN PLACE CONCRETE - LIGHT/WHITE CW SAG RUB
5	EASY PLANK - VERTICAL L. BONE WHITE W/ PROFILE
6	EASY PANEL - BRUSHED ALUMINIUM TO MATCH WINDOWS
7	LIGHTING
9	COMMEMORATIVE 4 INFORMATION DISPLAYS
10	PRECAST CONCRETE
11	PREFINISHED METAL DOWNSPOUT (TO SIT IN EXTERIOR REVEAL) COLOR: TBD
12	RAILING PREFINISHED ALUMINIUM FRAME W/ SPINDELS
13	RAILING PREFINISHED ALUMINIUM FRAME W/ GLASS
14	PRIVACY SCREEN PREFINISHED HORIZONTAL METAL
15	CEMENTITIOUS FARGING
16	PREFINISHED METAL CAP FLASHING CW 2" DRIP EDGE AND ICE WATER BARRIER UNDER. SLOPE TO SHED WATER - COLOUR TBD
17	42" ALUMINIUM RAILINGS W/ SPINDELS
18	42" ALUMINIUM RAILINGS W/ GLASS
19	CURTAIN WALL GLAZING - KAWNEER CLEARWALL SYSTEM OR EQUIVALENT.
20	WINDOW GLAZING METAL CLAD-VINYL WHITE

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

NOTES:
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 DO NOT SCALE DRAWINGS.
 THIS DRAWING SUPERCEDES PREVIOUS ISSUES.

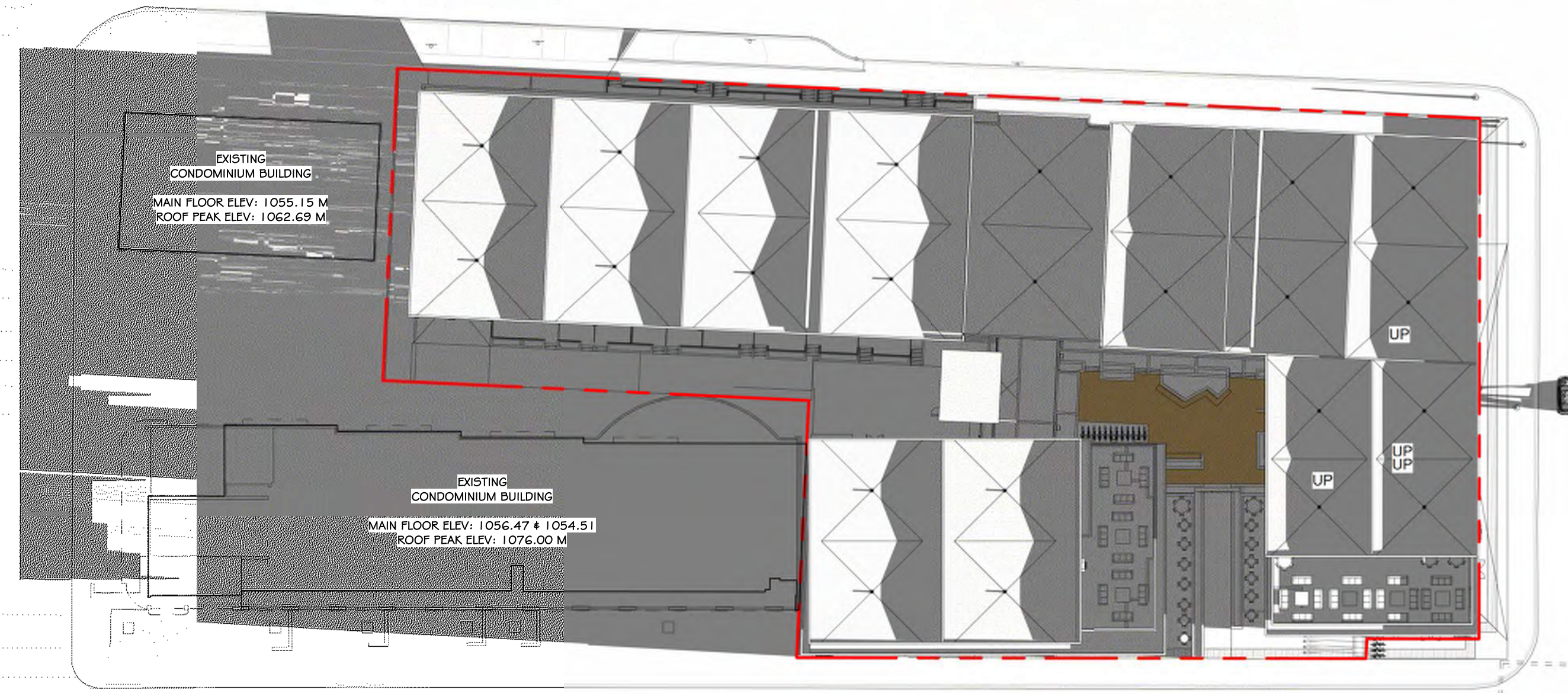
TODD JACKSON ARCHITECTURE INC
 804-A 16TH AVENUE S.W. CALGARY, AB T2R 0S9
 TEL: 403.520.8018 EMAIL: info@moosgroup.ca

PROJECT:
THE SENTINEL MIXED-USE BUILDINGS
 1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

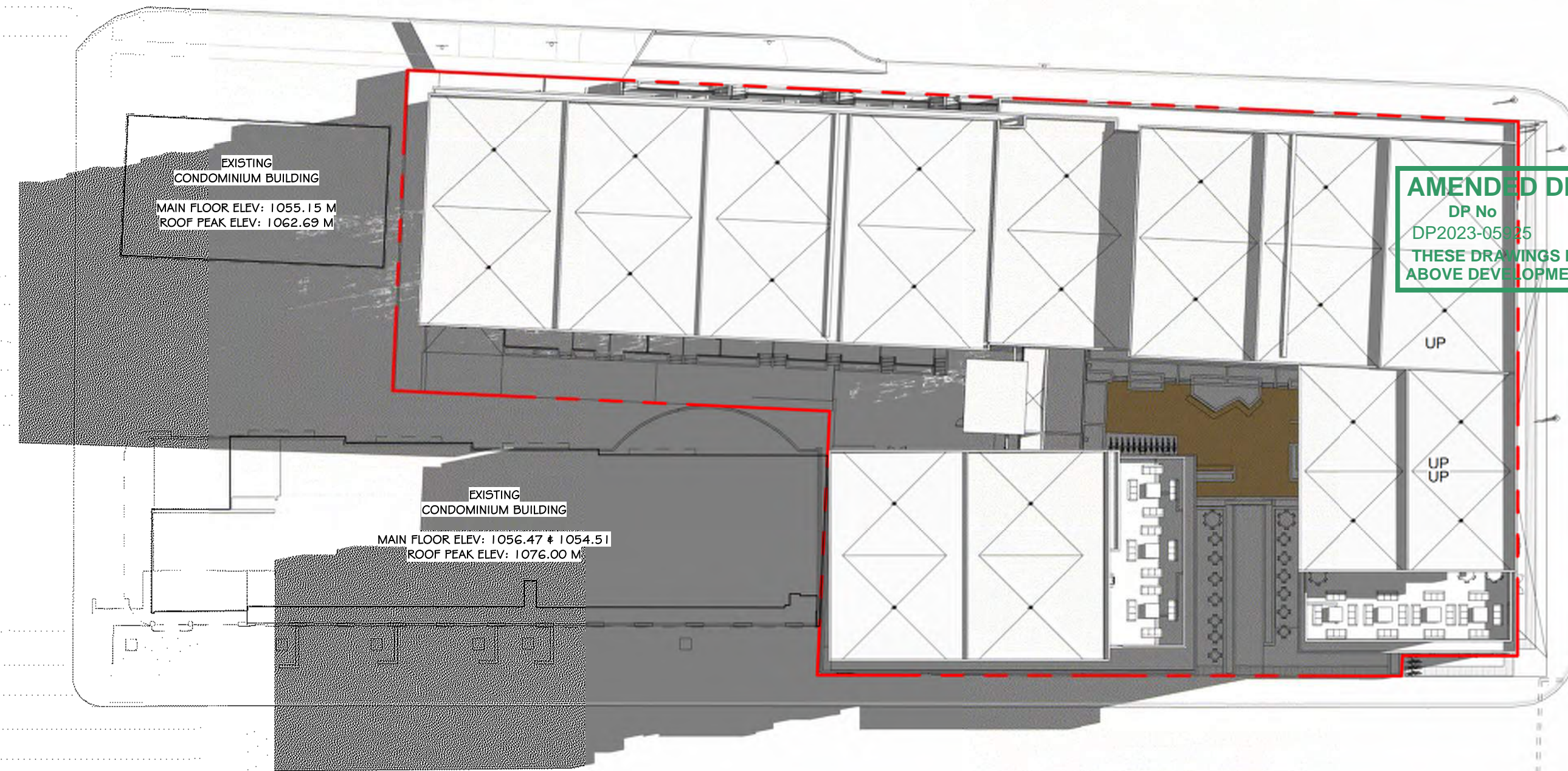
DRAWING DESCRIPTION:
ELEVATIONS

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13	DP4.8	
CHECKED BY:	TJ	PLOT DATE:	2024.04.17
DRAWN BY:	CS		

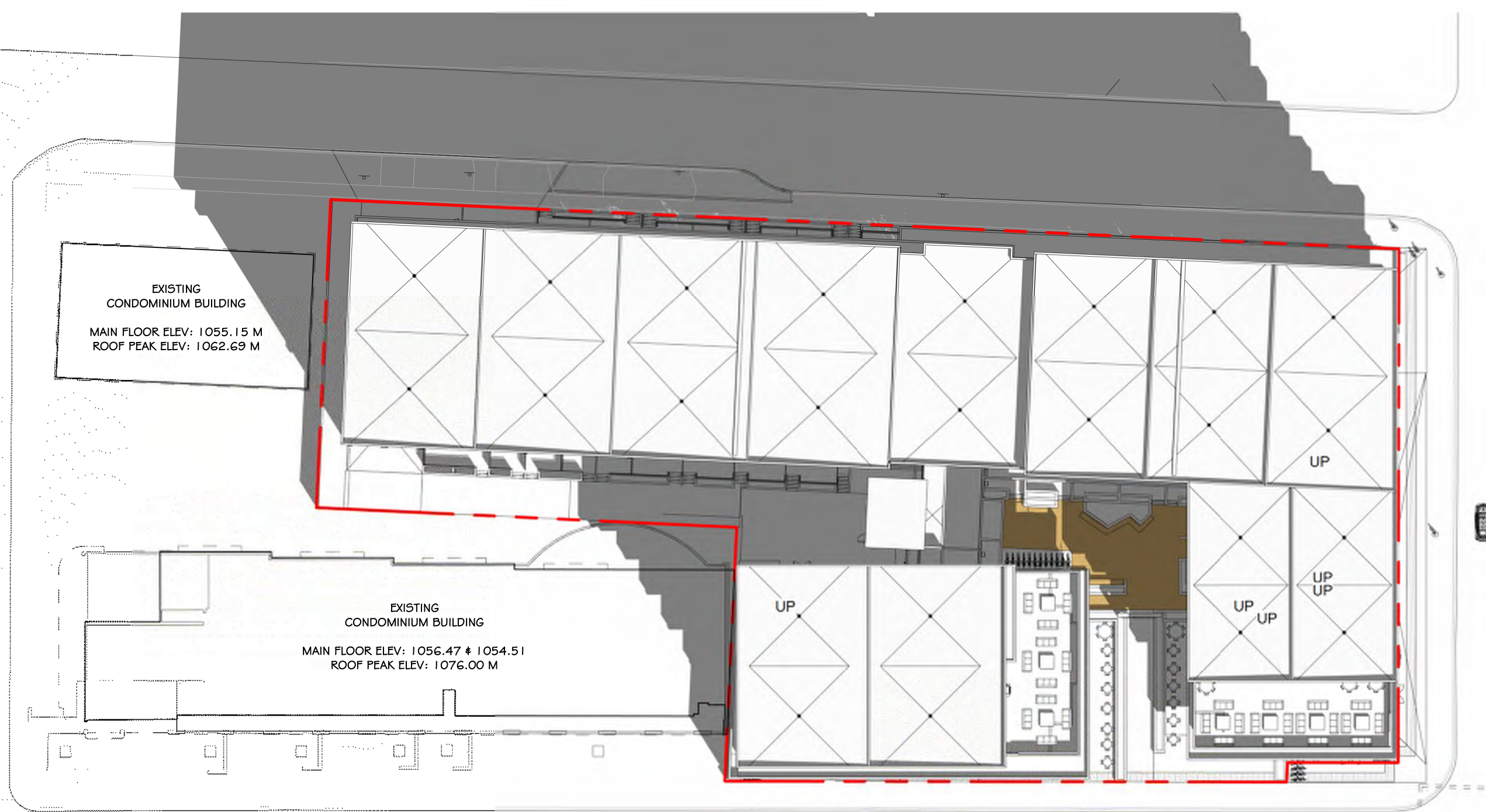
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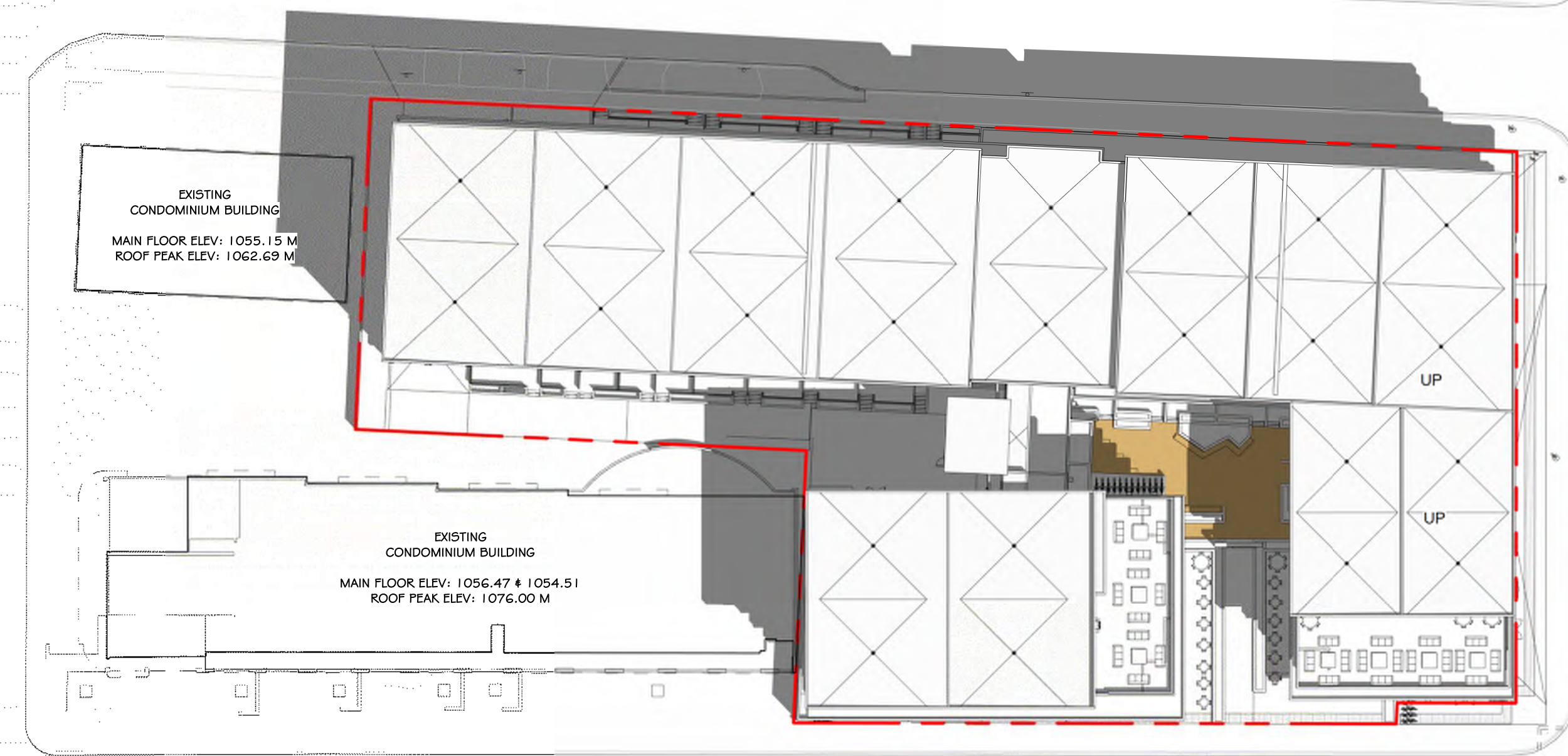
1 SHADOW STUDY - MARCH 21 @ 8AM
1" = 40'-0"



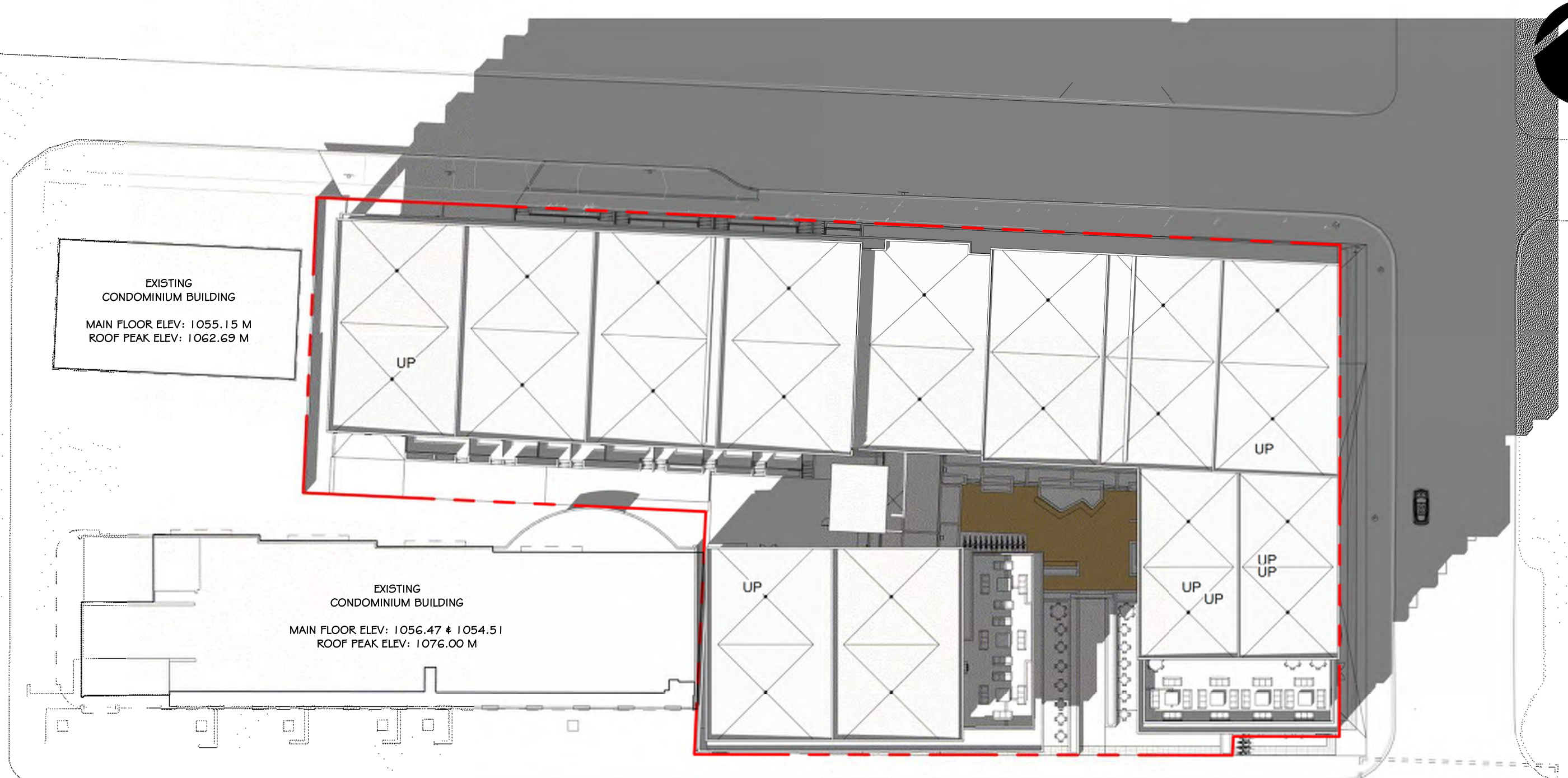
4 SHADOW STUDY - JUNE 21 @ 8AM
1" = 40'-0"



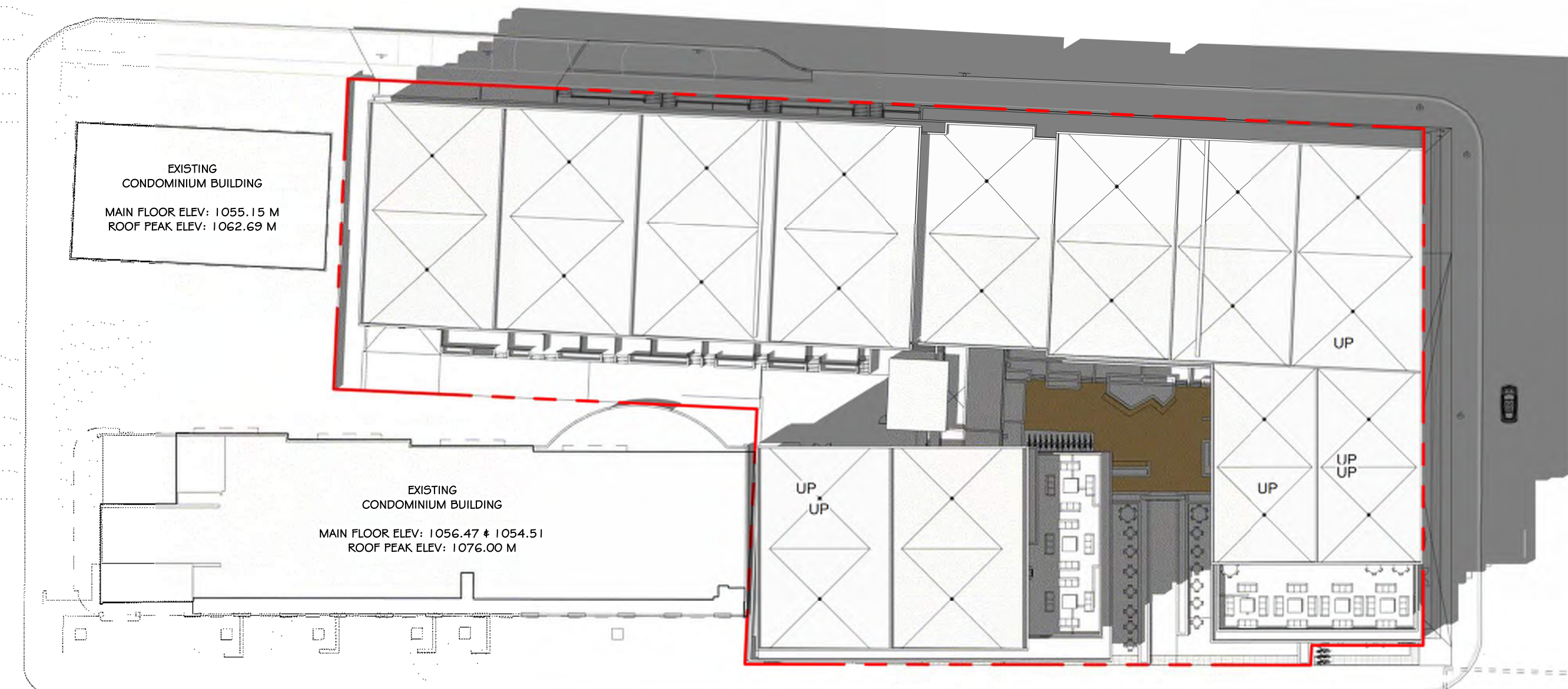
2 SHADOW STUDY - MARCH 21 @ 12PM
1" = 40'-0"



5 SHADOW STUDY - JUNE 21 @ 12PM
1" = 40'-0"



3 SHADOW STUDY - MARCH 21 @ 4PM
1" = 40'-0"



6 SHADOW STUDY - JUNE 21 @ 4PM
1" = 40'-0"

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE (2)
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

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 ARCHITECTURE INC

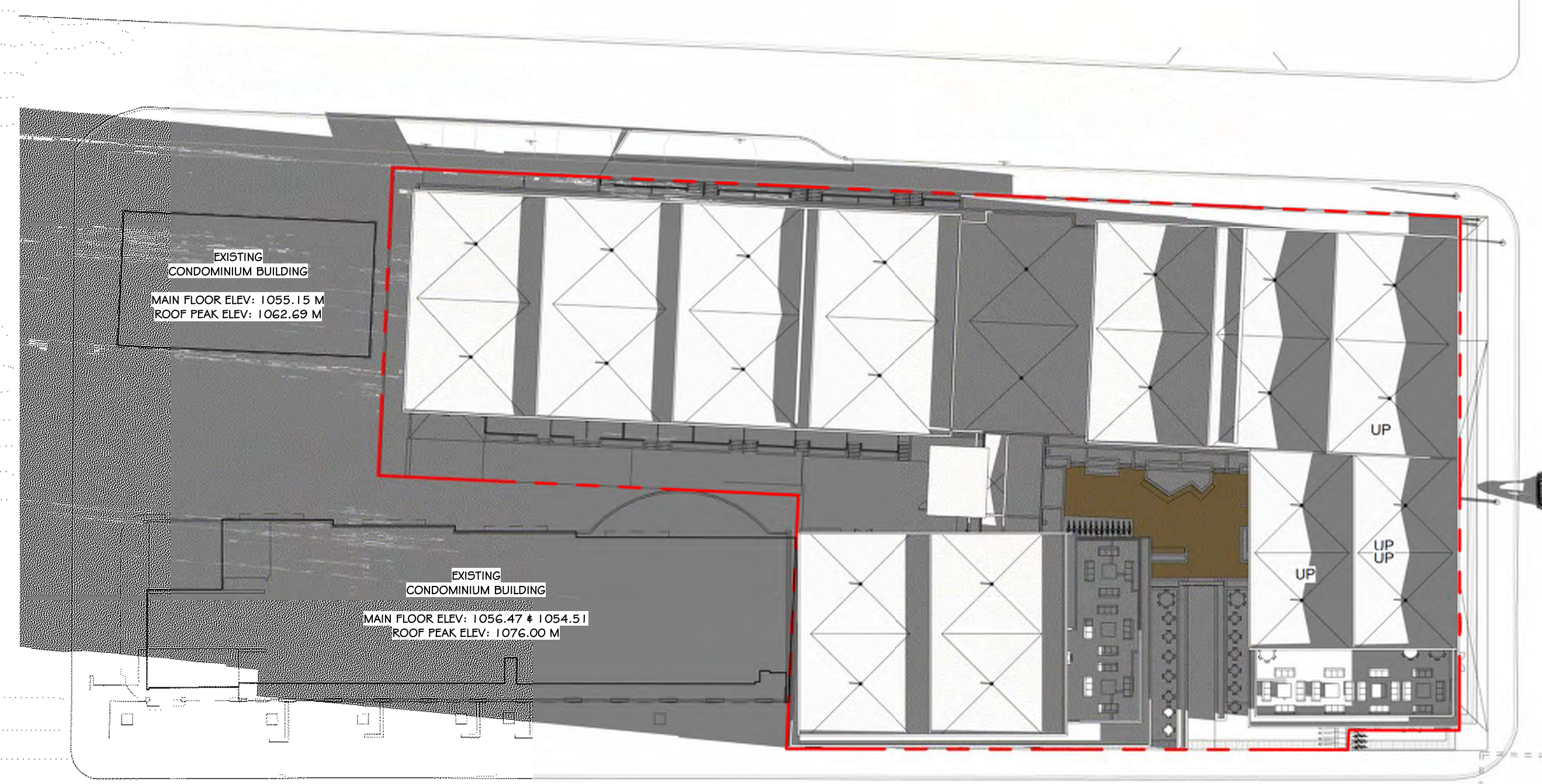
834-A 16TH AVENUE S.W.
 CALGARY AB T2R 0S9
 Tel: 403.520.8018
 email: info@tjgroup.ca

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
SHADOW STUDIES

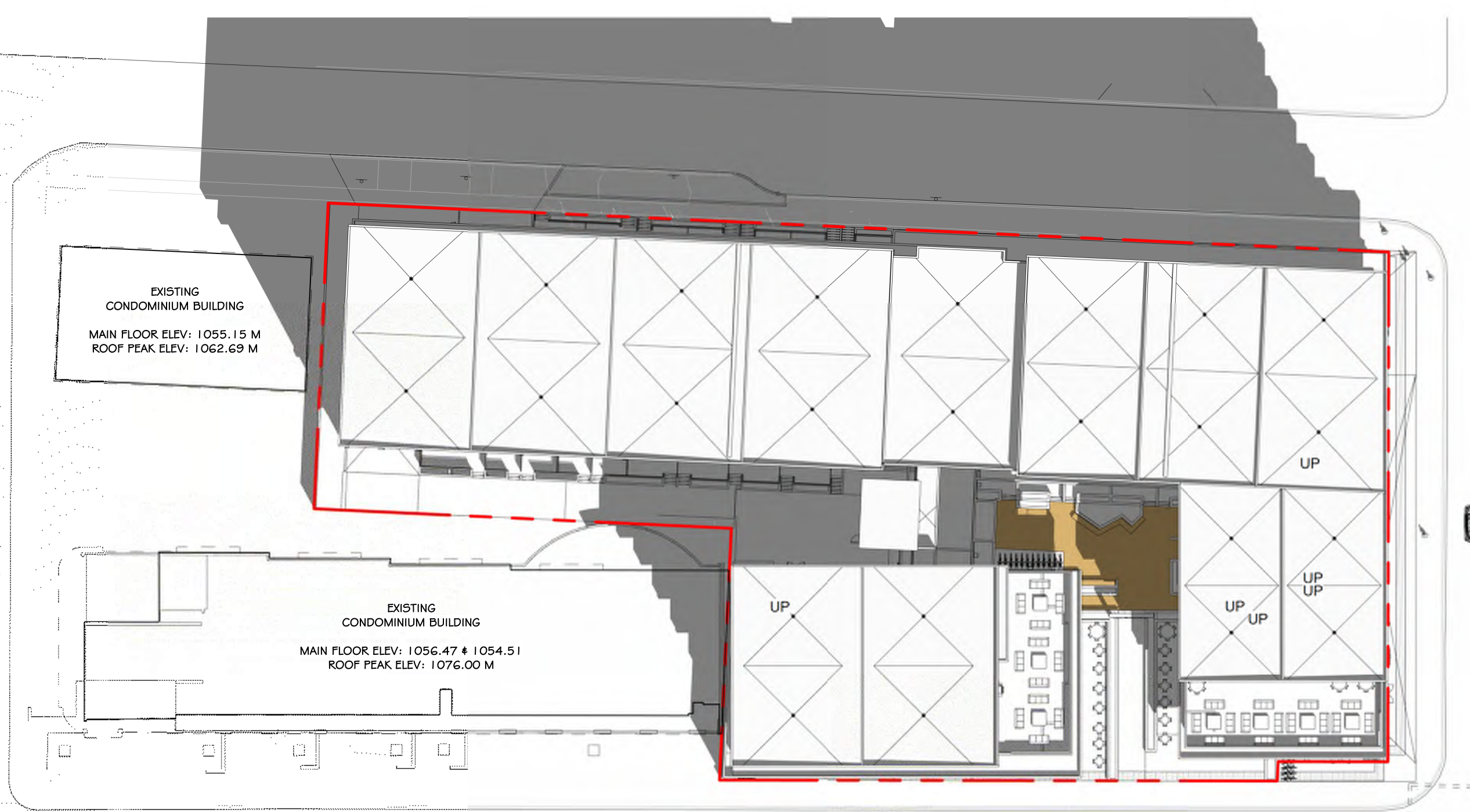
PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13		
CHECKED BY:	Checker		DP10.1
DRAWN BY:	Author	PLOT DATE:	2024.04.17



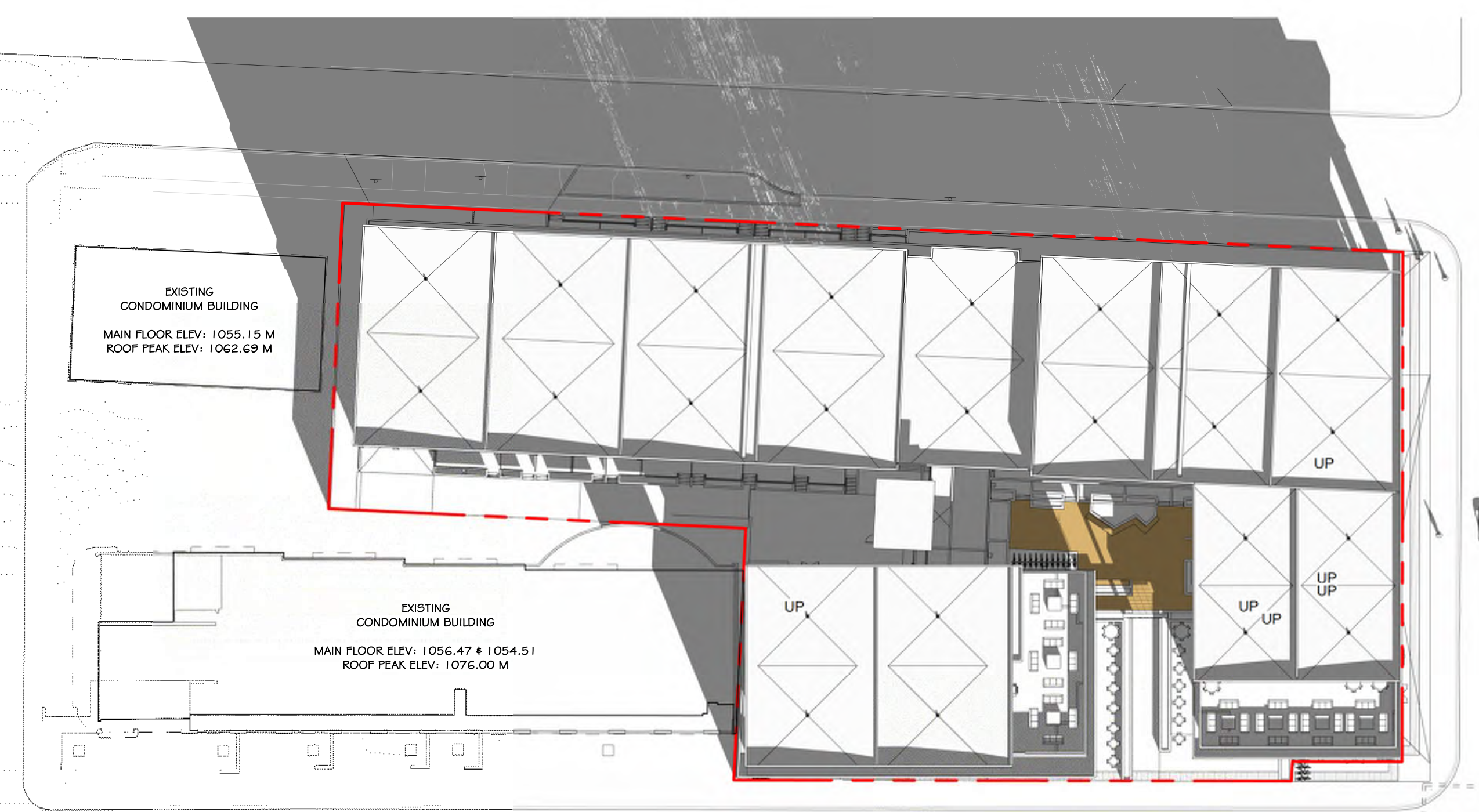
1 SHADOW STUDY - SEPTEMBER 21 @ 8AM
1" = 40'-0"



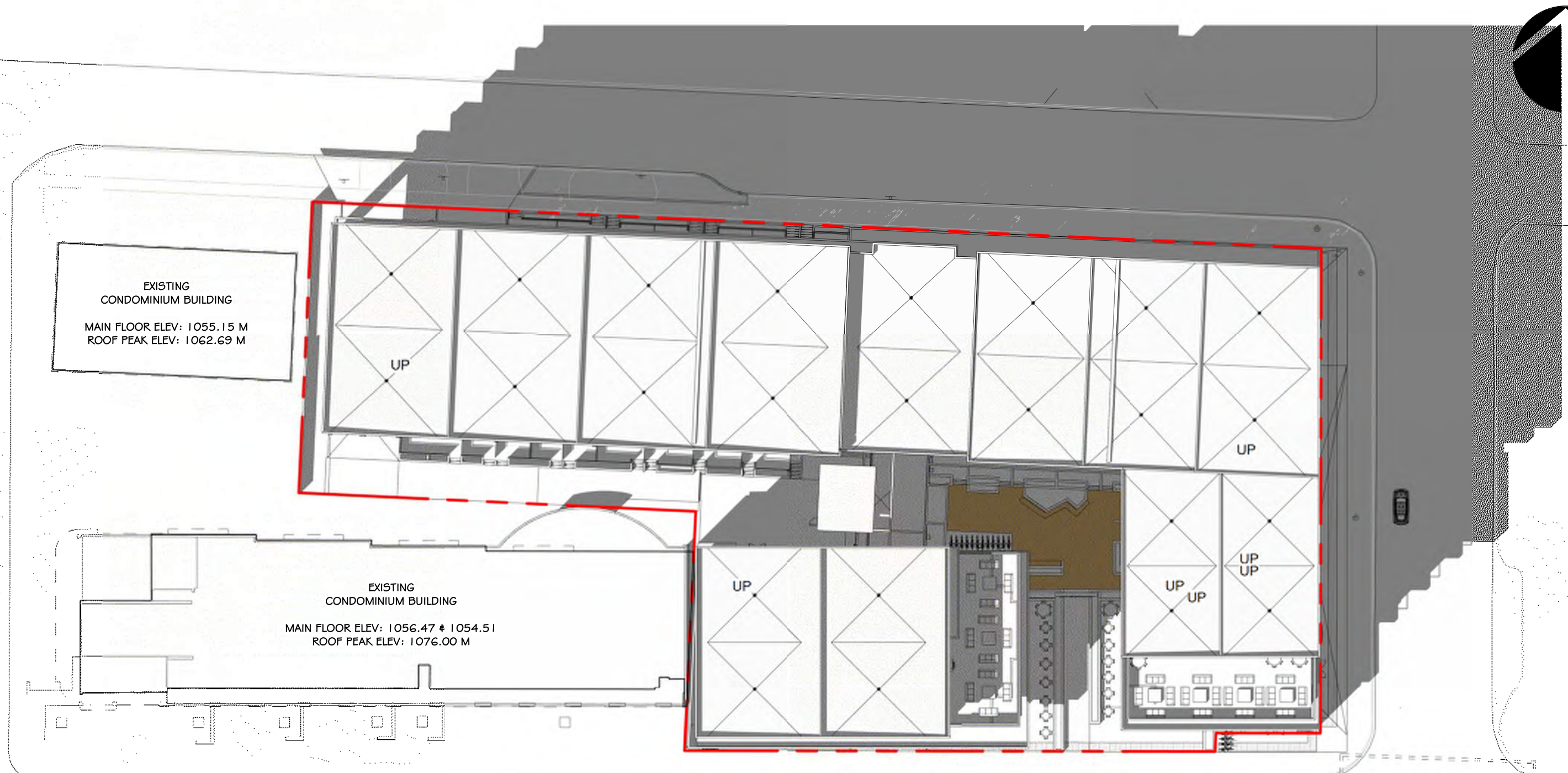
4 SHADOW STUDY - DECEMBER 21 @ 8AM
1" = 40'-0"



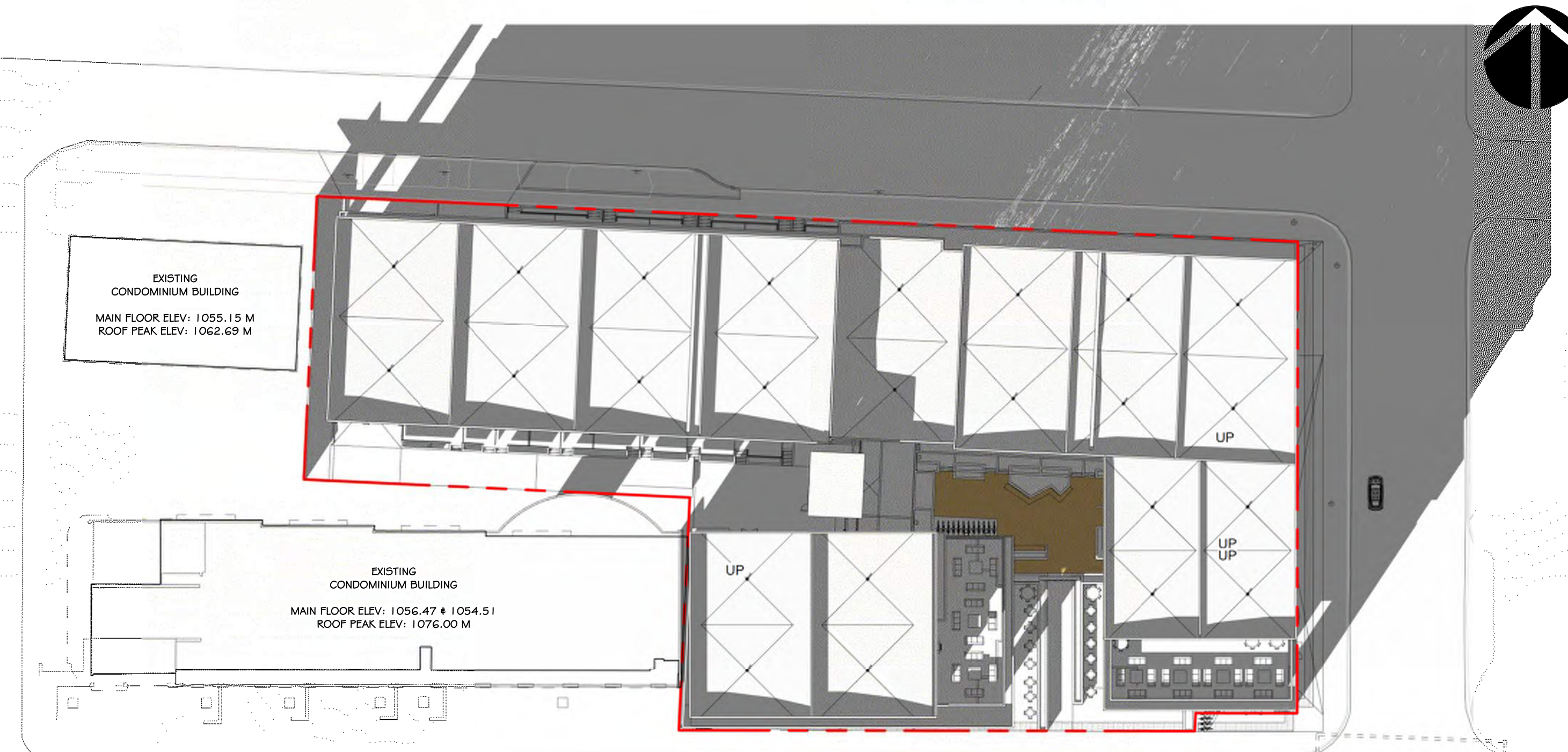
2 SHADOW STUDY - SEPTEMBER 21 @ 12PM
1" = 40'-0"



5 SHADOW STUDY - DECEMBER 21 @ 12PM
1" = 40'-0"



3 SHADOW STUDY - SEPTEMBER 21 @ 4PM
1" = 40'-0"



6 SHADOW STUDY - DECEMBER 21 @ 4PM
1" = 40'-0"

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

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 ARCHITECTURE INC

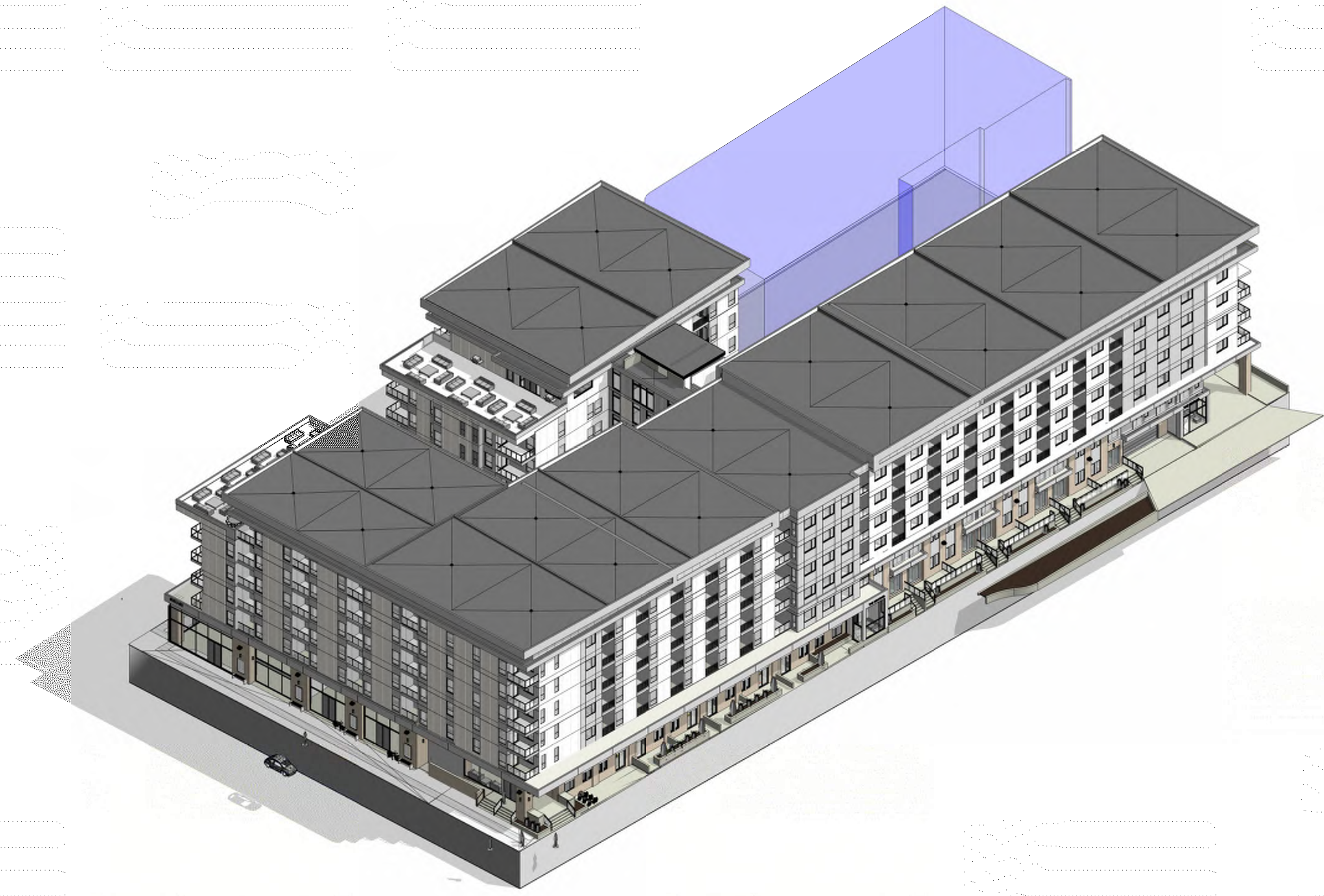
804-A 16TH AVENUE S.W. TEL: 403.520.8018
 CALGARY AB CALGARY AB
 T2R 0S9 email: info@tjgroup.ca

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

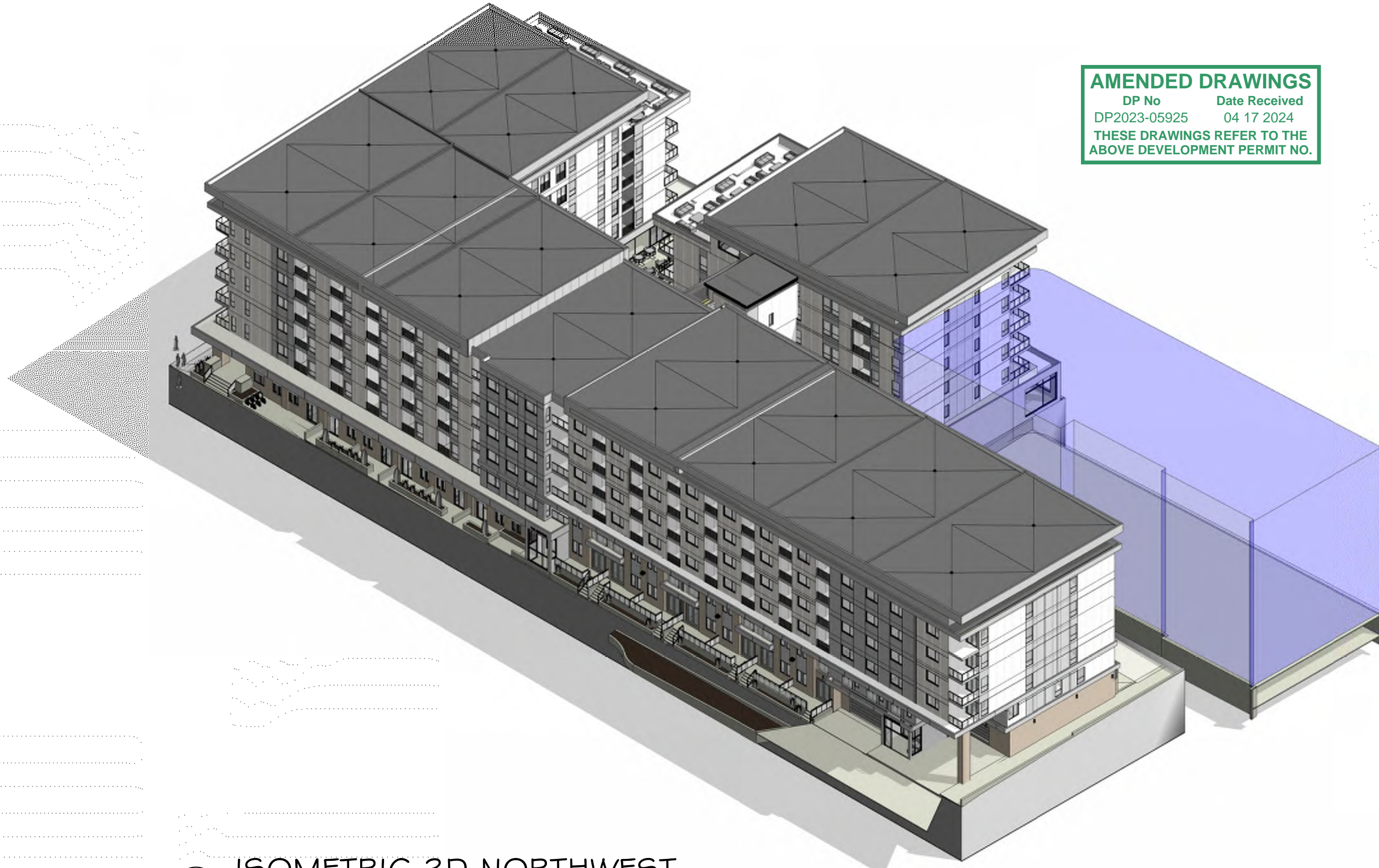
1507-1531 16 AVE. S.W.
 1501-1515 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
SHADOW STUDIES

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13		
CHECKED BY:	Checker		DP10.2
DRAWN BY:	Author	PLOT DATE:	2024.04.17

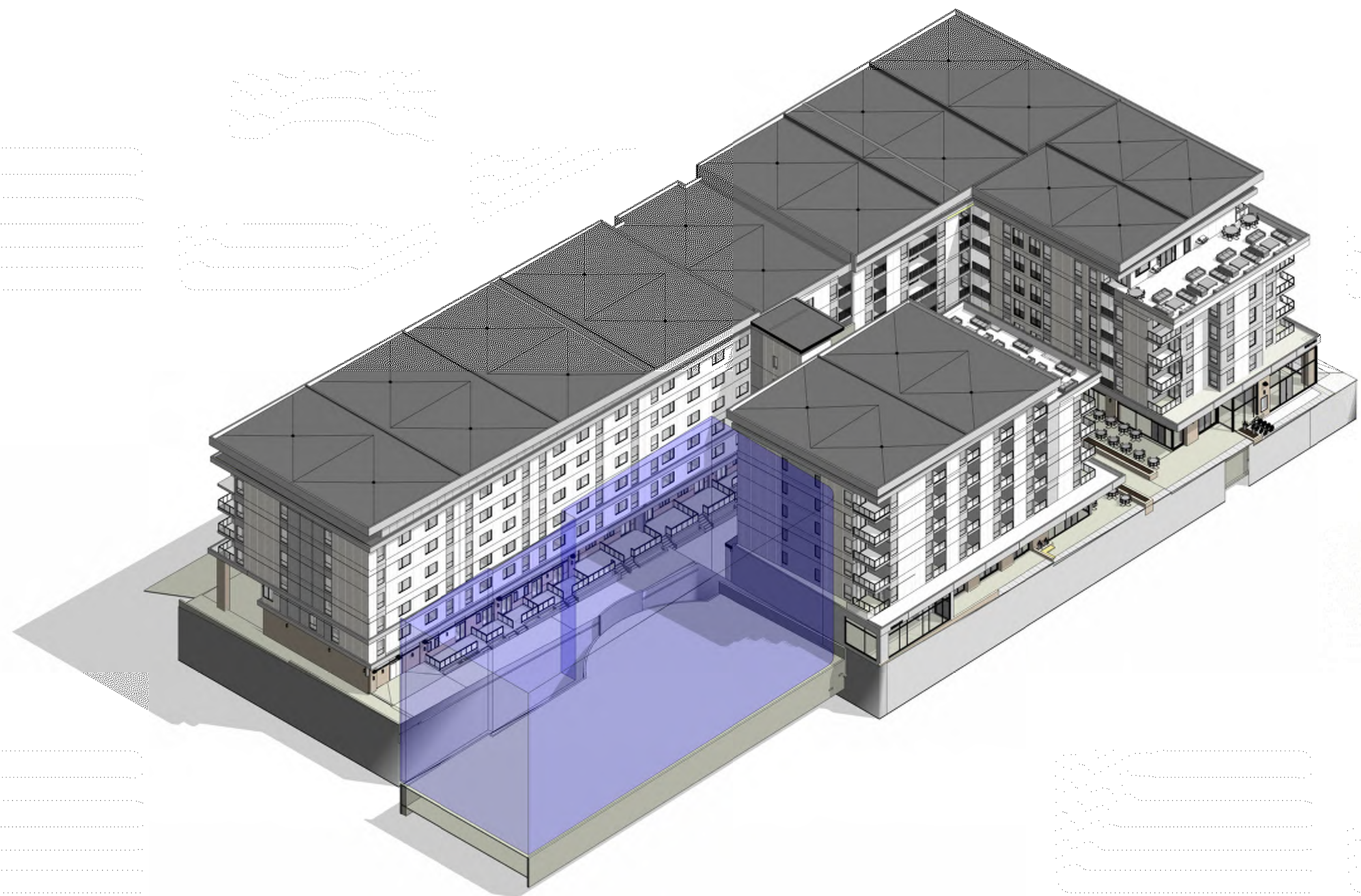


1 ISOMETRIC 3D NORTHEAST
DP11.1

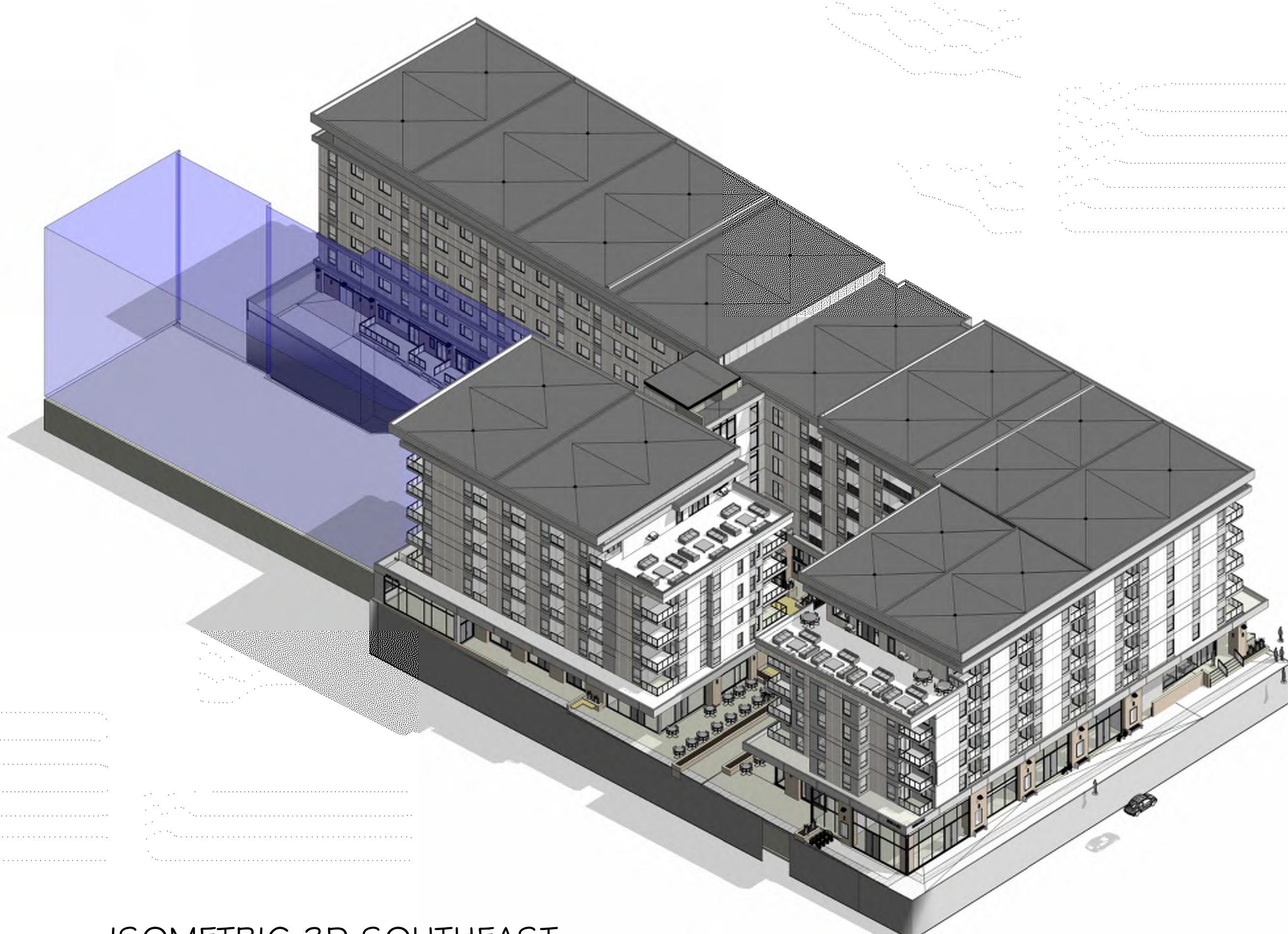


2 ISOMETRIC 3D NORTHWEST
DP11.1

AMENDED DRAWINGS
 DP No: DP2023-05925 Date Received: 04-17-2024
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



3 ISOMETRIC 3D SOUTHWEST
DP11.1



4 ISOMETRIC 3D SOUTHEAST
DP11.1

RECORD OF ISSUE	
01	2023.08.21 DEVELOPMENT PERMIT
02	2024.01.05 DTR-1 RESPONSE
03	2024.03.07 DTR-1 RESPONSE #2
04	2024.04.17 DTR-2 RESPONSE

RECORD OF REVISIONS	

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TODD JACKSON
 ARCHITECTURE INC

804-A 16TH AVENUE S.W. TEL: 403.520.8018
 CALGARY, AB CALGARY, AB
 T2R 0S9 EMAIL: INFO@TODDJACKSON.COM

PROJECT:
THE SENTINEL
MIXED-USE BUILDINGS

1507-1531 16 AVE. S.W.
 1001-1015 14 ST. S.W.
 1430-1448 17 AVE. S.W.
 CALGARY, ALBERTA
 LOTS 5-30, BLOCK 201, PLAN 5380V

DRAWING DESCRIPTION:
ISOMETRIC 3D VIEWS

PLOT SCALE:	AS NOTED	DRAWING NO.:	
PROJECT NO.:	2023-13	DP11.1	
CHECKED BY:	Checker	PLOT DATE:	2024.04.17
DRAWN BY:	Author		